

## VILLAGE OF FRIENDSHIP HEIGHTS

### VILLAGE COUNCIL

ROY SCHAEFFER, *Mayor*  
MARTHA SOLT, *Chairman*  
FRANCINE KLEIN, *Vice-Chairman*  
VICTOR BASILE, *Secretary*  
JOHN CONLOW, *Treasurer*  
ALLYSON ALT, *Parliamentarian*  
ALFRED MULLER, *Historian*  
JULIAN P. MANSFIELD, *Village Manager*

4433 SOUTH PARK AVENUE  
CHEVY CHASE, MARYLAND 20815

Phone: 301-656-2797  
Fax: 301-907-3922  
Email: [info@friendshipheightsmd.gov](mailto:info@friendshipheightsmd.gov)  
Website: [www.friendshipheightsmd.gov](http://www.friendshipheightsmd.gov)



### Invitation for Bids

The Friendship Heights Village Council, the governing body for the Village of Friendship Heights, invites proposals for the construction of ADA-related site improvements at William Tyler Page Park in the Village of Friendship Heights in Chevy Chase, MD 20815. The bid invitation notice and specifications are posted on the eMaryland Marketplace site and the Village's website. **Bids and references must be submitted by 3:00 p.m. on Thursday, March 19, 2026, to James Wilson, Owner's Representative, at [Jwilson.css@gmail.com](mailto:Jwilson.css@gmail.com). A mandatory pre-bid meeting will be held at the site on Thursday, March 5, 2026, at 10 a.m.**

This notice is placed in compliance with the applicable provisions of Section 66 of the Montgomery County Code. The successful bidder will be required to execute affidavits of non-collusion, non-conviction, and non-suspension/disbarment (Md. Code, State Finance and Procurement Art. Sec 16-311(a) and (b)), and a written contract in a form approved by the Village. The successful bidder must be qualified and registered to do business in Maryland (Md. Code, Corps. Art. Sec. 7-201). The Village reserves the right to refuse all bids if none appear appropriate to the Village's circumstances.

*Posted 2/17/26*

# REQUEST FOR PROPOSALS (RFP)

## William Tyler Page Park – ADA Renovations

Bids Due – March 19 - 3 pm

4623 N. Park Avenue, Chevy Chase, Maryland 20815

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### 1. INTRODUCTION

The Owner invites qualified General Contractors to submit proposals for the construction of ADA-related site improvements at William Tyler Page Park in Chevy Chase, Maryland.

The intent of this RFP is to obtain competitive, comparable proposals based on the Contract Documents described herein. The Owner anticipates entering into an agreement using standard contract form provided by Owner.

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### 2. OWNER

Village of Friendship Heights (Owner's Representative to be Construction Services & Solutions ("CSS"))

All communications regarding this RFP shall be directed to the Owner's Representative via email at [Jwilson.css@gmail.com](mailto:Jwilson.css@gmail.com). Direct contact with consultants without authorization is prohibited.

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### 3. PROJECT DESCRIPTION

The Project generally consists of site and landscape construction to provide ADA-compliant access within William Tyler Page Park, including but not limited to:

- Demolition and removal of existing site features
- New concrete sidewalks, ramps, and steps
- Site grading and drainage improvements
- Stormwater management features, including rain gardens and landscape infiltration areas
- Erosion and sediment control measures
- Restoration and landscape work
- Coordination with public right-of-way and adjacent properties

The Work shall be performed in accordance with the issued civil, landscape, and erosion control drawings prepared by Clark | Azar & Associates, dated January 29, 2026, and all applicable codes and permitting requirements.

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#### 4. PROCUREMENT SCHEDULE (ANTICIPATED)

- Issue RFP: February 17, 2026
- Pre-Bid Site Visit (Mandatory): March 5, 2026 at 10:00 a.m.
- Questions Due by no later than: March 13
- **Proposals Due: March 19, 2026, 3:00 p.m.**
- Construction Start: May 2026 (final Permits pending)

The Owner reserves the right to revise this schedule.

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#### 5. CONTRACT FORM

The successful bidder will be required to execute:

An agreement using standard contract form to be provided by Owner

Contract will be Lump Sum, subject to agreed alternates (if any).

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#### 6. CONTRACTOR QUALIFICATIONS

Bidders shall:

- Be licensed to perform work in the State of Maryland
  - Demonstrate experience with comparable site, park, or ADA improvement projects
  - Have demonstrated experience with erosion and sediment control in Montgomery County or similar jurisdictions
  - Maintain adequate bonding capacity and insurance
- 

#### 7. SITE VISIT AND EXISTING CONDITIONS

Contractors are strongly encouraged to visit the site and familiarize themselves with:

- Existing grades and access limitations
- Proximity to public roads and neighboring properties
- Tree protection, environmental constraints, and stormwater features

Submission of a proposal shall be considered evidence that the bidder has examined the site and Contract Documents.

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## 8. QUESTIONS AND ADDENDA

All questions shall be submitted in writing by the date indicated in the procurement schedule. Responses will be issued by written addendum and distributed to all bidders.

Only written addenda shall modify the RFP or Contract Documents.

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## 9. PROPOSAL REQUIREMENTS

Proposals shall include the following:

1. Completed **Bid Form** (included in this RFP)
  2. Proposed Lump Sum Contract Price
  3. Anticipated construction duration
  4. Confirmation of acceptance of AIA A104 and related contract documents (identify any requested exceptions)
  5. List of key subcontractors
  6. Statement of relevant project experience
  7. Proof of bonding capacity and insurance
- 

## 10. EVALUATION CRITERIA

Proposals will be evaluated based on:

- Completeness and clarity of proposal
- Price
- Schedule
- Relevant experience
- Responsiveness to RFP requirements

The Owner reserves the right to reject any or all proposals and to waive informalities.

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## 11. BID FORM

**PROJECT:** William Tyler Page Park – ADA Renovations

**Bidder Name:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Contact Person:** \_\_\_\_\_

**Phone / Email:** \_\_\_\_\_

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## 11.1 Base Bid – Cost Breakdown

The bidder shall provide a detailed cost breakdown for the major components of the Work. These values will be used for evaluation and contingency management; the Contract shall be based on the Lump Sum Base Bid.

No.	Major Scope Element	Lump Sum Cost (\$)
1	Mobilization, Bonds, Insurance, General Conditions	
2	Survey Layout, Construction Staking, and As-Builts	
3	Demolition and Removal of Existing Site Improvements	
4	Earthwork and Site Grading	
5	Stormwater Management Systems (Rain Gardens, Infiltration Areas, Underdrains, Media)	
6	Concrete Work – Sidewalks, Ramps, Curbs, Steps, Landings	
7	Handrails, Guardrails, and Miscellaneous Metals	
8	Erosion and Sediment Control (Installation, Maintenance, Removal)	
9	Landscape Restoration, Planting, and Soil Amendments	
10	Tree Protection Measures and Forest Conservation Compliance	
11	Pavement Restoration / Tie-ins at Public Right-of-Way	
12	Permits, Inspections, Testing, and Fees	
13	Closeout, Record Documents, and Demobilization	
	<b>Subtotal of Breakdown (for evaluation only)</b>	

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### 11.1A Alternate No. 1 – ADA Ramp with Bluestone Pavers on Concrete

Provide an additive (or deductive, if applicable) price to construct the designated ADA ramp areas using **bluestone pavers installed over a reinforced concrete base**, in lieu of the base bid concrete ramp construction. Alternate pricing shall include all labor, materials, equipment, overhead, and profit required to complete the Work.

**Alternate No. 1 – Total Add / (Deduct):** \$ \_\_\_\_\_

*Detailed Cost Breakdown – Alternate No. 1*

No.	Alternate Scope Element	Lump Sum Cost (\$)
A1	Demolition / Removal of Base Bid Ramp Construction (if required)	
A2	Subgrade Preparation and Proof-Rolling	
A3	Reinforced Concrete Slab-on-Grade Base for Pavers	
A4	Waterproofing / Slip Sheet / Setting Bed (as required)	
A5	Bluestone Pavers – Material Supply	
A6	Bluestone Paver Installation and Cutting	
A7	Jointing, Edge Restraints, and Finish Detailing	
A8	ADA Tactile Warning Strips (if applicable)	
A9	Protection, Cleaning, and Final Sealing	
	<b>Subtotal – Alternate No. 1 Breakdown</b>	

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### 11.2 Lump Sum Base Bid

The undersigned bidder proposes to perform all Work described in the Contract Documents for the following **Lump Sum Base Bid**:

**Base Bid Amount:** \$ \_\_\_\_\_

(Amount written in words): \_\_\_\_\_

The Lump Sum Base Bid shall govern in the event of any discrepancy between this amount and the cost breakdown above.

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### 11.3 Construction Duration

The bidder proposes to achieve Substantial Completion within:

\_\_\_\_\_ **calendar days** from Notice to Proceed.

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### 11.4 Allowances (if applicable)

(If no allowances are included, state “None.”)

Allowance Description	Amount (\$)
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### 11.5 Acknowledgment of Addenda

The bidder acknowledges receipt of the following addenda:

Addendum No(s). \_\_\_\_\_

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### 11.6 Contract Acceptance

The bidder:

- Accepts AIA A104 without exception
  - Accepts AIA A104 with the following requested clarifications or exceptions (attach separate sheet)
- 

### 11.7 Signature

The undersigned certifies that this bid is submitted in good faith and in accordance with the RFP requirements.

**Authorized Signature:** \_\_\_\_\_

**Printed Name / Title:** \_\_\_\_\_

**Date:** \_\_\_\_\_

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## 12. ATTACHMENTS

- Issued Drawings and Technical Specifications (by others)
- 

*End of RFP*

# WILLIAM TYLER PAGE PARK

## ADA RENOVATIONS

4623 N PARK AVENUE, CHEVY CHASE, MARYLAND, 20815



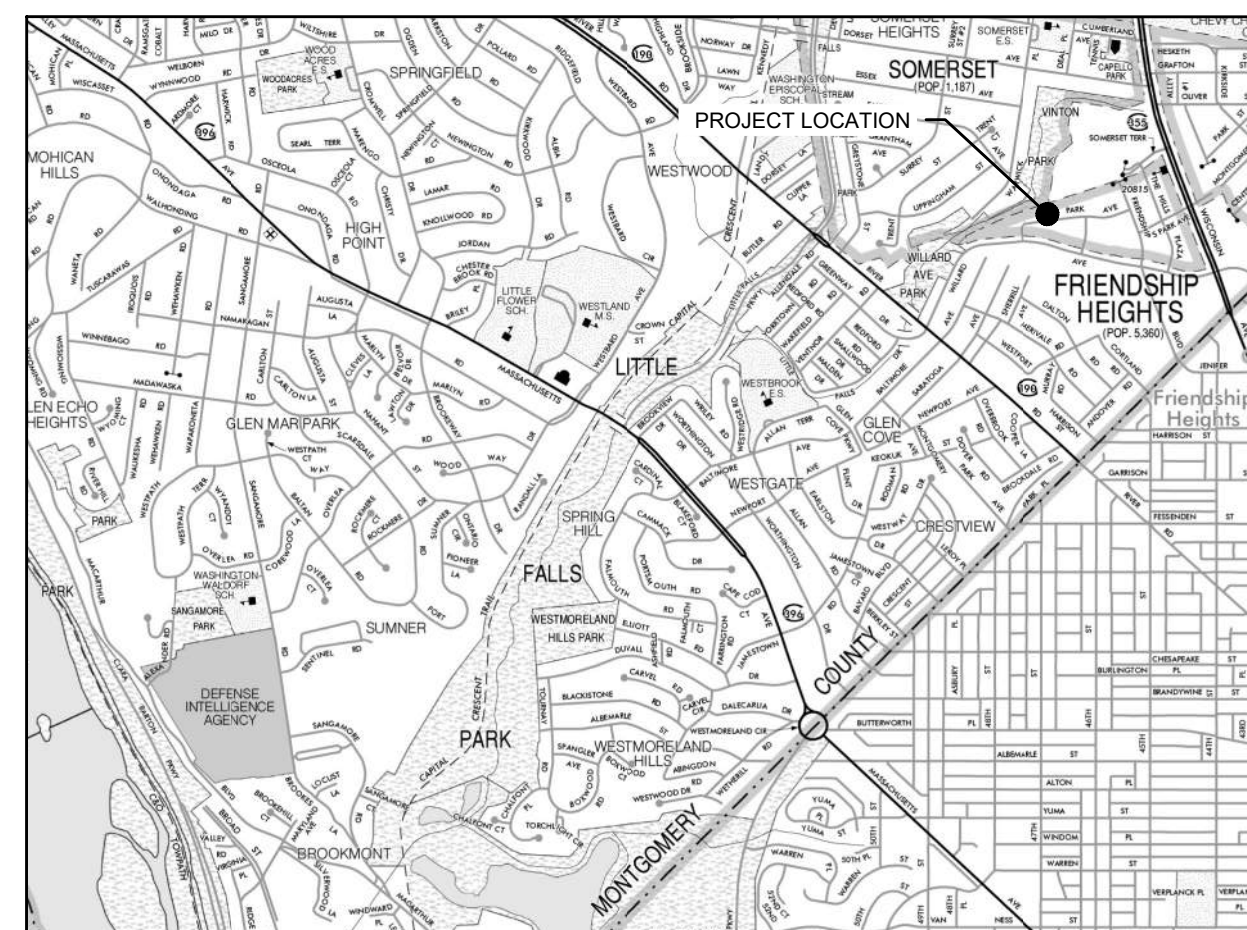
01/29/2026  
 PROFESSIONAL CERTIFICATION:  
 I CERTIFY THAT THESE DOCUMENTS WERE PREPARED  
 OR APPROVED BY ME, AND THAT I AM A DULY  
 LICENSED PROFESSIONAL ENGINEER UNDER THE  
 LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 31168  
 EXPIRATION DATE: 01/29/2027

ESC SHEET 1 OF 10

**DPS** | Montgomery County  
 Department of Permitting Services  
 255 Rockville Pike, 2nd Floor  
 Rockville, MD 20850-4196  
 Phone: 311 in Montgomery County or (240)777-6311  
 Fax: (240)777-6262  
<http://www.montgomerycountymd.gov/permitting/services>

SHEET INDEX				
SHEET NUMBER	DRAWING NUMBER	ESC SHEET NUMBER	ESC FILE NAME	SHEET TITLE
1	C-001	1	SC0001	COVER SHEET
2	C-005	2	SC0002	GENERAL NOTES
3	C-100	-	-	EXISTING CONDITIONS AND DEMOLITION PLAN
4	C-200	3	SC0003	SITE AND STORMWATER MANAGEMENT PLAN
5	C-205	-	-	SITE DETAILS
6	C-210	4	SC0004	STORMWATER MANAGEMENT DETAILS
7	C-211	5	SC0005	STORMWATER MANAGEMENT DETAILS
8	C-300	-	-	GRADING PLAN
9	C-400	6	SC0006	EROSION AND SEDIMENT CONTROL PLAN W/SEQUENCE OF CONSTRUCTION
10	C-410	7	SC0007	EROSION AND SEDIMENT CONTROL DETAILS
11	C-415	8	SC0008	EROSION AND SEDIMENT CONTROL NOTES
12	L-101	-	-	FOREST CONSERVATION EXEMPTION OVERALL PLAN
13	L-102	-	-	FOREST CONSERVATION EXEMPTION ENLARGEMENT PLAN
14	L-103	-	-	FOREST CONSERVATION EXEMPTION NOTES AND DETAILS



**VICINITY MAP**  
 SCALE: 1" = 2000'

**PROPERTY OWNER**  
 VILLAGE OF FRIENDSHIP HEIGHTS  
 4433 SOUTH PARK AVENUE  
 CHEVY CHASE, MARYLAND 20815

**CONTACT**  
 VILLAGE OF FRIENDSHIP HEIGHTS  
 ATTN: JULIAN MANSFIELD, VILLAGE MANAGER  
 EMAIL: JMANSFIELD@FRIENDSHIPHEIGHTSMD.GOV  
 PH: (301) 656-2797

**RECORD DRAWING CERTIFICATION**

A record set of approved Sediment Control/Stormwater Management plans must be maintained on-site at all times. In addition to stormwater management items, these plans must include the number and location of all trees proposed to be planted to comply with the Tree Canopy Law. Any approved modifications or deletions of stormwater practices or tree canopy plantings or information must be shown on this record set of plans and on the Tree Canopy Requirements table. Upon completion of the project, this record set of plans, including hereon this signed Record Drawing Certification, must be submitted to the MCDPS inspector. In addition to this Record Drawing Certification, a formal Stormwater Management As-Built submission  is required  is not required for this project.

If this project is subject to a Stormwater Management Right of Entry and Maintenance Agreement, that document is recorded in Montgomery County Land Records at:  
 Liber N/A Folio N/A. This Record Drawing will serve as referenced in the recorded document.

"This record drawing accurately and completely represents the stormwater management practices and tree canopy plantings as they were constructed or planted. All stormwater management practices were constructed per the approved Sediment Control / Stormwater Management plans or subsequent approved revisions."

Owner/Developer Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**FIELD CHECK OF RECORD DRAWING BY MCDPS INSPECTOR: INITIALS: \_\_\_\_\_ DATE: \_\_\_\_\_**

Effective for sediment control permit applications made on or after January 1, 2016.

RELATED REQUIRED PERMITS					
To be completed by the consultant and placed on the first sheet of the Sediment Control / Stormwater Management plan set for all projects.					
IT IS THE RESPONSIBILITY OF PERMITEE/OWNER OF THIS SITE TO OBTAIN ALL REQUIRED PERMITS PRIOR TO ISSUANCE OF THE APPROVED SEDIMENT CONTROL PERMIT					
TYPE OF PERMIT	REQD	NOT REQD	PERMIT #	EXPIRATION DATE	WORK RESTRICTION DATES
MCDPS Floodplain District		<input checked="" type="checkbox"/>			
WATERWAYS/WETLAND(S):		<input checked="" type="checkbox"/>			
a. Corps of Engineers		<input checked="" type="checkbox"/>			
b. MDE		<input checked="" type="checkbox"/>			
c. MDE Water Quality Certification		<input checked="" type="checkbox"/>			
MDE Dam Safety		<input checked="" type="checkbox"/>			
* DPS Roadside Trees Protection Plan		<input checked="" type="checkbox"/>		Approval Date	
** N.P.D.E.S Notice of INTENT		<input checked="" type="checkbox"/>			
FEMA LOMR (Required Post Construction)		<input checked="" type="checkbox"/>			
OTHERS (Please List):					
Forest Conservation Exemption	<input checked="" type="checkbox"/>		42025224E	APPROVAL DATE 10/9/2025	
Right-of-Way Plan		<input checked="" type="checkbox"/>			
SHA		<input checked="" type="checkbox"/>			

\*A copy of the approved Roadside Tree Protection Plan must be delivered to the sediment control inspector at the preconstruction meeting.  
 \*\*When a Notice of Intent is required, the sediment control permit may not be issued until confirmation of authorization under the MDE's 20-CP permit has been submitted to MDE.

FOR SEDIMENT CONTROL APPLICATIONS AS OF APRIL 30, 2024

**TREE CANOPY REQUIREMENTS TABLE**  
 To be completed by the consultant and placed on the first sheet of the Sediment Control / Stormwater Management plan set for all projects. A fee in lieu of planting will be charged for any required canopy trees that are not planted.

Exempt: Yes  No  If exempt under Section 55-5 of the Code, please check the applicable exemption category below.

Total Property Area	Total Disturbed Area
14,876 square feet	14,379 square feet

Shade Trees Required	Shade Trees Proposed to be Planted
15	15

Number of Trees Requiring Payment of a Fee in Lieu (Trees Required - Trees Planted)  
 0 Trees

Required Number of Shade Trees		
Area (sq. ft.) of the Limits of Disturbance	FROM	TO
	1	6,000
	6,001	8,000
	8,001	12,000
	12,001	14,000
	14,001	40,000
		Number of Shade Trees Required
		3
		6
		9
		12
		15

If the square footage of the limits of disturbance is more than 40,000, then the number of shade trees required must be calculated using the following formula:  
 (Number of Square Feet in Limits of Disturbance ÷ 40,000) × 15

**EXEMPTION CATEGORIES CHECK AS APPLICABLE**

<input type="checkbox"/> 55-5(a) any activity that is subject to Article II of Chapter 22A;	<input type="checkbox"/> maintenance has obtained all required permits;
<input type="checkbox"/> 55-5(b) any commercial logging or timber harvesting operation with an approved exemption from Article II of Chapter 22A;	<input type="checkbox"/> 55-5(b) any stream restoration project if the person performing the work has obtained all necessary permits;
<input type="checkbox"/> 55-5(f) any activity conducted by the County Parks Department;	<input type="checkbox"/> 55-5(i) cutting or clearing any tree to comply with applicable provisions of any federal, state, or local law governing safety of dams;
<input type="checkbox"/> 55-5(g) routine or emergency maintenance of an existing stormwater management facility, including an existing access road, if the person performing the	<input type="checkbox"/> OTHER: Specify per Section 55-5 of the Code.

**DESIGN CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL," MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES EXECUTIVE REGULATIONS 5-90, 7-02AM AND 36-90, AND MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION "STORM DRAIN DESIGN CRITERIA" DATED AUGUST 1988.

DESIGN ENGINEER SIGNATURE: \_\_\_\_\_ DATE: 1/30/26  
 JASON AZAR, PE 31168 PRINTED NAME REGISTRATION NUMBER

**CERTIFICATION OF THE QUANTITIES**

I HEREBY CERTIFY THAT THE ESTIMATED TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO 245 CUBIC YARDS OF EXCAVATION, 37 CUBIC YARDS OF FILL AND THE TOTAL AREA TO BE DISTURBED AS SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE 14,379 SQUARE FEET.

DESIGN ENGINEER SIGNATURE: \_\_\_\_\_ DATE: 1/30/26  
 JASON AZAR, PE 31168 PRINTED NAME REGISTRATION NUMBER

**OWNER'S/DEVELOPER'S CERTIFICATION**

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PRINTED NAME AND TITLE: \_\_\_\_\_

**DRAINAGE STATEMENT**

I UNDERSTAND THAT DPS APPROVAL OF THIS SEDIMENT CONTROL/STORMWATER MANAGEMENT PLAN IS FOR DEMONSTRATED COMPLIANCE WITH REQUIRED ENVIRONMENTAL RUNOFF TREATMENT STANDARDS. THIS DPS SEDIMENT CONTROL/STORMWATER MANAGEMENT PLAN APPROVAL DOES NOT RELIEVE ME OF PROFESSIONAL RESPONSIBILITY. I HAVE ANALYZED THE PROPOSED DESIGN FOR SEDIMENT CONTROL PERMIT NO. 304530 AND HEREBY CERTIFY THAT, BASED UPON MY BACKGROUND, TRAINING AND EXPERIENCE, I HAVE DETERMINED THAT THE PROPOSED IMPROVEMENTS SHOWN ON THIS PLAN MEET RELEVANT LAWS AND REGULATIONS. I FURTHER ACKNOWLEDGE THAT I HAVE ANALYZED THE POST DEVELOPMENT DRAINAGE PATTERNS FOR THIS PROJECT FROM THE STANDPOINT OF MY RESPONSIBILITIES UNDER CURRENT MARYLAND LAW AND HAVE DETERMINED THAT IF PERMISSION IS REQUIRED FROM ADJACENT PROPERTY OWNERS, I HAVE OBTAINED IT AND HAVE MADE COPIES OF THOSE PERMISSIONS AVAILABLE TO DPS.

DESIGN ENGINEER SIGNATURE: \_\_\_\_\_ DATE: 1/30/26  
 JASON AZAR, PE 31168 PRINTED NAME REGISTRATION NUMBER

A:\2024\01 - WT Page Park\CAD\DWG\C-001 - COVER SHEET.dwg 2/3/2026 8:51 AM

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

**WILLIAM TYLER PAGE PARK**  
 4623 N PARK AVE  
 CHEVY CHASE, MARYLAND 20815  
 WSSC GRID: 207NW04 TAX MAP: HM33  
 SUBDIVISION: 0025 PARCEL: N/A LOT: P1 /BLOCK: C  
 LIBER/FOLIO: L: 05629 F: 00714  
 ELECTION DISTRICT: 7

NO.	DATE	DESCRIPTION

DATE: JAN 2026  
 CAA PROJECT NO.: 926.001  
 DRAWN BY: MS  
 CHECKED BY: JA  
 SHEET TITLE

**COVER SHEET**

SHEET  
**C-001**

COMBINED STORMWATER MANAGEMENT CONCEPT/  
SITE DEVELOPMENT STORMWATER MANAGEMENT PLAN APPROVAL LETTER



DEPARTMENT OF PERMITTING SERVICES

Marc Elich  
County Executive

Rabbiah Sabbakhan  
Director

January 20, 2026

MR. Jason Azar, P.E.  
Clark / Azar & Associates,  
20440 Century Boulevard, STE 220  
Germantown, MD 20874

Re: **COMBINED STORMWATER MANAGEMENT CONCEPT/SITE DEVELOPMENT STORMWATER MANAGEMENT PLAN** for William Tyler Page Park  
Preliminary Plan #: NA  
SM File #: 300715  
Tract Size/Zone: 0.38 ac  
Total Concept Area: 0.33 ac  
Lots/Block: P1/C  
Watershed: Little Falls Branch  
Redevelopment (Yes/No): No

Dear Mr. Azar:

Based on a review by the Department of Permitting Services Review Staff, the stormwater management concept for the above-mentioned site is **acceptable**. The plan proposes to meet required stormwater management goals via ESD to the MEP using 1 Landscape infiltration facility and 3 Rain Gardens.

The following items will need to be addressed during the detailed sediment control/stormwater management plan stage:

1. A detailed review of the stormwater management computations will occur at the time of detailed plan review.
2. An engineered sediment control plan must be submitted for this project.
3. All filtration media for manufactured best management practices, whether for new development or redevelopment, must consist of MDE approved material.

This list may not be all-inclusive and may change based on available information at the time.

Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-90 is **not required**.

This letter must appear on the sediment control/stormwater management plan at its initial submittal. The concept approval is based on all stormwater management structures being located outside of the Public Utility Easement, the Public Improvement Easement, and the Public Right of Way unless specifically approved on the concept plan. Any divergence from the information provided to this office, or additional information received during the development process, or a change in an applicable Executive Order, shall require a separate approval process.



2425 Reedie Drive, 7th Floor, Wheaton, Maryland 20902 | 240-777-0311  
[www.montgomerycountymd.gov/permitting-services](http://www.montgomerycountymd.gov/permitting-services)

Mr. Jason Azar, P.E.  
January 20, 2026  
Page 2 of 2

Regulation may constitute grounds to rescind or amend any approval actions taken, and to reevaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.

If you have any questions regarding these actions, please feel free to contact Joel Karpas at 240-777-6026.

Sincerely,

*Mark Etheridge*  
Mark Etheridge, Manager  
Water Resources Section  
Division of Land Development Services

cc: Neil Braunstein  
SM File # 300715

ESD Required/Provided 448 of 1,454 of  
PE Target/Achieved 1,471.4'  
STRUCTURAL 0 of  
WAIVED 0 of

FOREST CONSERVATION EXEMPTION PLAN APPROVAL LETTER



October 9, 2025  
Village of Friendship Heights  
attn: Ray Schaeffer  
4443 South Park Avenue  
Chevy Chase, MD 20815

2425 Reedie Drive  
Floor 14  
Wheaton, MD 20902  
MontgomeryPlanning.org

Dear Mr. Schaeffer,

Based on the review by staff of the Montgomery County Planning Department, the exemption request for William Tyler Page Park, #42025224E, is confirmed. The project is exempt from Article II of the Montgomery County Code, Chapter 22A (Forest Conservation Law), per Section 22A-5(t)(1) for a modification to a non-residential property because it meets all the following criteria:

- (A) no more than 5,000 square feet of forest is ever cleared at one time or cumulatively after an exemption is issued.
- (B) the modification does not result in the cutting, clearing, or grading of any forest in a stream buffer or forest located on property in a special protection area which must submit a water quality plan.
- (C) the development does not occur within an environmental buffer, with the exception of the allowable uses stated in the environmental guidelines.
- (D) the modification does not require approval of a preliminary plan, administrative subdivision plan, or conditional use/special exception.
- (E) the modification does not increase the developed area by more than 50%, and any existing principal building, as defined in Chapter 59, is retained; and
- (F) the pending development application does not propose any residential uses.

A pre-construction meeting is required after the limits of disturbance have been staked prior to clearing and grading to verify the limits of disturbance and to determine what tree protections are required. The project manager should contact forest conservation inspector Domenic Bello at [Domenic.Bello@montgomeryplanning.org](mailto:Domenic.Bello@montgomeryplanning.org) or at 240-928-0225 before construction to schedule this pre-construction meeting. The site supervisor, construction superintendent, forest conservation inspector, and the Montgomery County Department of Permitting Services sediment control inspector shall attend this pre-construction meeting.

Sincerely,

Amy Lindsey  
Regulatory Supervisor, Environment and Climate Division  
[amy.lindsey@montgomeryplanning.org](mailto:amy.lindsey@montgomeryplanning.org)



2425 Reedie Drive  
Floor 14  
Wheaton, MD 20902  
MontgomeryPlanning.org

GENERAL NOTES

1. EXISTING TOPOGRAPHIC CONDITIONS BASED ON FIELD SURVEY PERFORMED BY POTOMAC VALLEY SURVEYS, INC., DATED JANUARY 2025 AND SUPPLEMENTED BY MONTGOMERY COUNTY GIS DATA. BOUNDARY INFORMATION BASED ON AVAILABLE TAX RECORDS. NO BOUNDARY SURVEY WAS PERFORMED.
2. THE HORIZONTAL DATUM OF THIS SURVEY IS MARYLAND STATE PLANE (NAD83). THE VERTICAL DATUM OF THIS SURVEY IS NGVD 29.
3. THE LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE. CONTRACTOR TO VERIFY IN THE FIELD AS NECESSARY. ABOVE GROUND UTILITIES & IMPROVEMENTS FIELD LOCATED BY POTOMAC VALLEY SURVEYS, INC. INVERT ELEVATIONS HAVE BEEN OBTAINED WHERE ACCESS IS AVAILABLE. ALL CONTRACTORS MUST CALL "MISS UTILITY" PRIOR TO ANY EXCAVATIONS.
4. THIS PROPERTY APPEARS ON TAX MAP HM343. THE PROPERTY IS CURRENTLY ZONED CR-3.0 (COMMERCIAL RESIDENTIAL), AND IS IN ELECTION DISTRICT NO. 07. WSSC 200' SHEET 207NW04.
5. NRCS WEB SOIL SURVEY IDENTIFIES SOILS AT THIS SITE AS GAILA SILT LOAM (HSG--B) AND URBAN LAND (HSG--D).
6. ALL PROPOSED WORK IS OUTSIDE THE MAPPED FLOODPLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 2403100455D, DATED SEPTEMBER 29, 2006.
7. DETAIL DRAWINGS AND SCHEDULES DESCRIBE CONSTRUCTION AT GIVEN AREAS. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL UTILIZE EQUIVALENT CONSTRUCTION METHODS IN ALL AREAS NOT DETAILED.
8. ALL NOTES ON DRAWINGS SHALL BE ASSUMED AS TYPICAL, UNLESS OTHERWISE SHOWN OR NOTED ON THE DRAWINGS.
9. ALL NOTES SUPPLEMENT THE PLANS AND ARE IN NO WAY TO BE CONSIDERED AS EXCLUDING IN ANY ITEM IN THEM.
10. IT SHALL BE THE DUTY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS GIVEN ON THE DRAWINGS AND TO REPORT TO THE ENGINEER ANY ERROR OR INCONSISTENCY WITH THE ACTUAL CIRCUMSTANCES IN THE FIELD BEFORE COMMENCING WORK.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ITEMS REQUIRED TO PROVIDE A SITE CLEAR OF OBSTRUCTIONS (ABOVE & BELOW GRADE) AND GRADED TO SPECIFIED ELEVATIONS.
12. ALL BIDDERS: THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIM/HERSELF WITH THE EXISTING CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED PRIOR TO SUBMITTING BID.
13. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL SITE SUB-CONTRACTORS/BIDDERS WITH FULL AND COMPLETE SETS OF ALL DRAWINGS FOR THEIR USE IN PREPARING BIDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DELAYS AND COSTS ARISING DURING CONSTRUCTION FROM BIDS BASED UPON INCOMPLETE SETS OF SITE BID DOCUMENTS.
14. CLARK | AZAR & ASSOCIATES, INC. WILL RELEASE CAD BASE FILES OF THE SITE CIVIL DRAWINGS TO THE SUCCESSFUL CONTRACTOR AFTER A RELEASE IS SIGNED. NO CAD FILES WILL BE RELEASED PRIOR TO AWARD OF CONTRACT.

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE LIMITED TO STORING MATERIALS IN DESIGNATED STAGING AREAS OR WITHIN THE LIMITS OF DISTURBANCE FOR THIS PROJECT.
2. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH THE OWNER AND PHASED TO NOT ADVERSELY AFFECT THE POOL FACILITY FUNCTIONALITY THROUGHOUT THE DURATION OF THE PROJECT.
3. CONTRACTOR SHALL PROVIDE REQUIRED SIGNAGE AND FLAGMEN ALONG ALL PUBLIC STREETS ADJACENT TO THE SITE TO ASSURE THE SAFETY OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC IF REQUIRED. ALL TRAFFIC CONTROLS MUST BE IN ACCORDANCE WITH THE MOST CURRENT MUTCD AND MDMUTCD REQUIREMENTS AND WITH THE MOST CURRENT MONTGOMERY COUNTY DOT WORK ZONE TRAFFIC CONTROL STANDARDS AND DETAILS.
4. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE MOST CURRENT APPLICABLE EPA, OSHA, AND MOSHA REGULATIONS AND MUST COMPLY WITH THE MOST CURRENT FEDERAL, STATE AND/OR LOCAL REGULATIONS AND CODES APPLICABLE TO SAID WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK WITH REPRESENTATIVE UTILITY COMPANIES AND IMPLEMENTING REQUIRED UTILITY-RELATED WORK ACCORDINGLY.
6. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY UPON ENCOUNTERING ANY HAZARDOUS MATERIALS. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER TO OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
7. WHERE NEW WORK IS TO BE DONE, CARE SHALL BE TAKEN TO PROTECT ALL EXISTING ADJACENT SURFACES, STRUCTURES, AND AREAS FROM DAMAGE. ANY ITEM TO SHOWN TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
8. CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH ACCEPTABLE MATERIAL, AS SPECIFIED IN THE CONTRACT DOCUMENTS.
9. IN THE EVENT THAT, DURING DEMOLITION OR CONSTRUCTION ACTIVITIES THE CONTRACTOR ENCOUNTERS ANY EXISTING UTILITIES/STRUCTURES NOT SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER FOR DIRECTIONS PRIOR TO PROCEEDING WITH ANY WORK.
10. ALL SAWCUTS ARE TO BE STRAIGHT AND EVEN, JAGGED EDGES WILL NOT BE ACCEPTED.
11. IT IS THE INTENT OF THIS DEMOLITION PHASE TO PROVIDE A SITE CLEAR OF ALL PHYSICAL CONSTRUCTIONS THAT WILL IMPEDE NEW CONSTRUCTION. PHASE STORM DRAIN REMOVAL AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION.
12. THE DEMOLITION PLAN IS INTENDED TO PROVIDE AN OVERALL PICTURE OF DEMOLITION THAT WILL BE PERFORMED THROUGHOUT CONSTRUCTION. SOME DEMOLITION IS PHASED AND PROGRESSES AS CONSTRUCTION CONTINUES. ALL DEMOLITION, AND MOST IMPORTANTLY UTILITY DEMOLITION, MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND THE SEQUENCE OF CONSTRUCTION.
13. PRIOR TO THE START OF CONSTRUCTION AN ON-SITE MEETING SHALL BE HELD TO DISCUSS TIMING OF OPERATIONS AND CONSTRUCTION COORDINATION.
14. BEFORE ANY EXCAVATION BELOW SUBGRADE IS ALLOWED, THE CONTRACTOR SHALL VERIFY THAT NO UTILITY PIPING IS IN THE VICINITY OF EXCAVATION.
15. THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL UNDERGROUND UTILITIES IN THE AREA OF PROPOSED WORK ARE LOCATED PRIOR TO COMMENCING CONSTRUCTION WORK. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.
16. THE CONTRACTOR IS ALSO RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (NOT LOCATED BY MISS UTILITY) WITHIN CONSTRUCTION LIMITS AT THEIR EXPENSE. ALL UTILITIES SHOWN ON THE PLANS ARE PROVIDED FOR INFORMATION ONLY AND SHALL BE CONSIDERED APPROXIMATE. MCPS WILL NOT LOCATE ANY OF THE EXISTING UNDERGROUND UTILITIES. ANY UTILITIES OR OTHER UNDERGROUND FACILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.
17. WHEN AN ITEM IS STATED TO BE REMOVED, IT SHALL INCLUDE REMOVAL OF ANY AND ALL APPURTENANCES ABOVE OR BELOW GRADE ASSOCIATED WITH SAID ITEM.
18. ALL SIDEWALKS ARE TO BE REMOVED AT THE NEAREST WHOLE PANEL.
19. ALL CURBING TO BE REMOVED AT THE NEAREST JOINT.

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL TEST PIT ALL WATER, ELECTRIC, AND GAS LINES, AND AT POINTS OF CONNECTION FOR STORM DRAIN AND SEWER WITHIN THE LIMITS OF DISTURBANCE TO ESTABLISH LOCATION AND EXISTING DEPTHS. THE CONTRACTOR SHALL TEST PIT ALONG THE EXISTING LINES TO REMAIN AT CROSSINGS AND PROVIDE FIELD LOCATED INVERTS TO THE ENGINEER OF RECORD PRIOR TO CLEARING.
2. THE CONTRACTOR SHALL COMPLY WITH ALL MONTGOMERY COUNTY NOISE ORDINANCES.
3. ALL DISTURBED AREAS TO REMAIN UNPAVED SHALL BE STABILIZED WITH SEED OR SOD.

CLARK | AZAR & ASSOCIATES  
20440 Century Blvd, Suite 220  
Germantown, MD, 20874  
T(301) 528-2010  
[www.clarkazar.com](http://www.clarkazar.com)  
A Woman Owned Small Business



PROFESSIONAL CERTIFICATION:  
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LICENSE NO. 31168

EXPIRATION DATE: 01/12/2027

WILLIAM TYLER PAGE PARK  
4623 N PARK AVE  
CHEVY CHASE, MARYLAND 20815  
WSSC GRID: 207NW04 TAX MAP: HM33  
SUBDIVISION: 0025 PARCEL: N/A LOT: P1 /BLOCK: C  
LIBER/FOLIO: L: 05629 F: 00714  
ELECTION DISTRICT: 7

NO.	DATE	DESCRIPTION

DATE: JAN 2026  
CAA PROJECT NO.: 926.001  
DRAWN BY: MS  
CHECKED BY: JA

SHEET TITLE

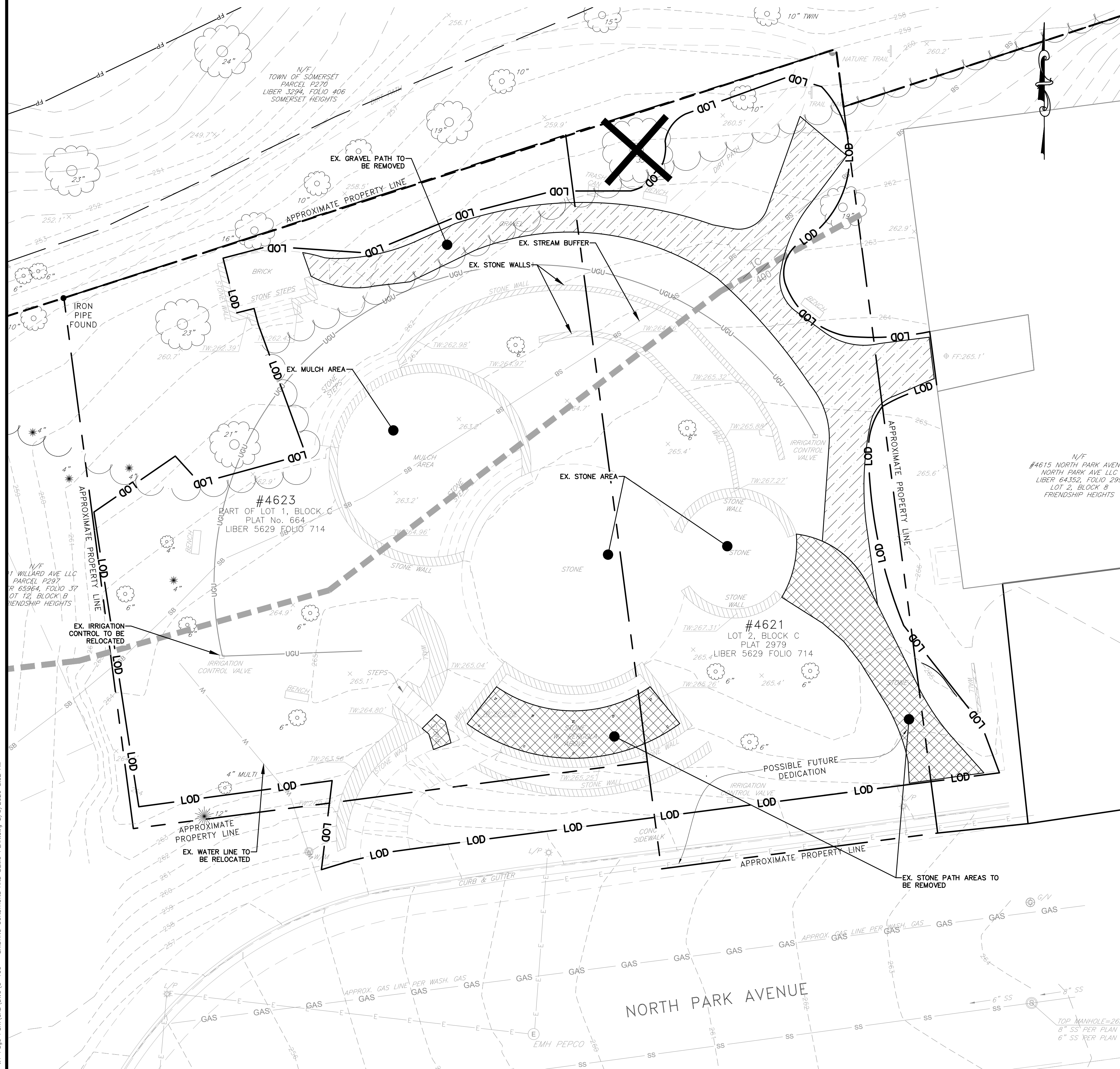
GENERAL NOTES

SHEET  
C-005



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**LEGEND**

- EXISTING CURB
- EXISTING PROPERTY LINE
- EXISTING EDGE OF PAVEMENT
- LIMITS OF DISTURBANCE
- EXISTING TREE LINE
- EXISTING GRADE ELEVATION
- EXISTING CURB INLET
- EXISTING GRATE INLET
- EXISTING MANHOLE
- EXISTING TREE
- EXISTING LIGHT POLE
- EXISTING FIRE HYDRANT
- EXISTING STONE WALL
- EXISTING GRAVEL PATH TO BE REMOVED
- EXISTING STONE PATH TO BE REMOVED
- EXISTING TREE TO BE REMOVED

NO.	DATE	DESCRIPTION

0 10' 20'  
 GRAPHIC SCALE

DATE: JAN 2026  
 CAA PROJECT NO.: 926.001  
 DRAWN BY: MS  
 CHECKED BY: JA

**EXISTING  
 CONDITIONS AND  
 DEMOLITION PLAN**

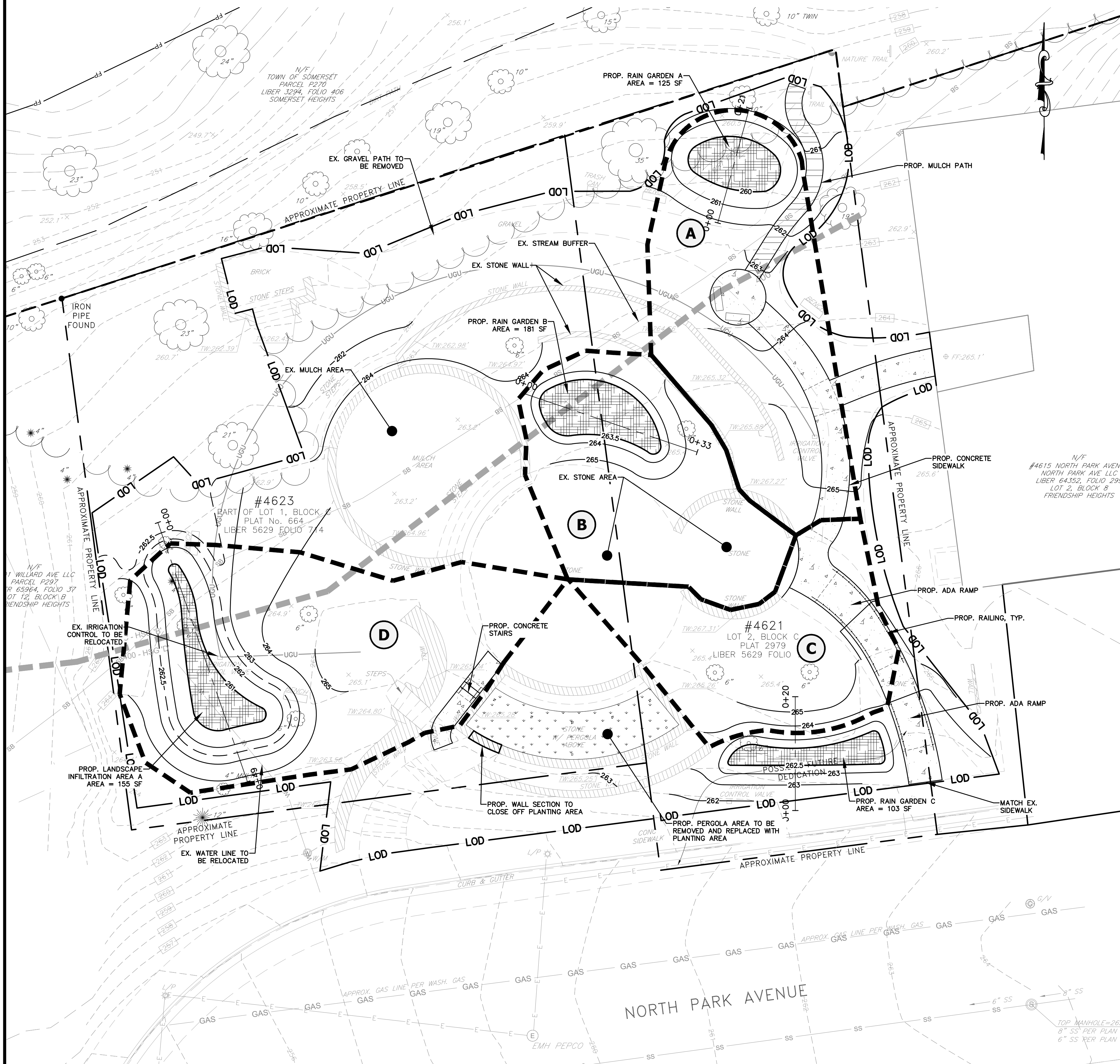
SHEET  
**C-100**

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**DRAINAGE AREA A:**  
 TO RAIN GARDEN A  
 AREA = 1,733 SF (0.041 AC)  
 IMPERVIOUS AREA = 371 SF  
 PERVIOUS AREA = 1,412 SF  
 PERCENT IMPERVIOUS = 20.8%

**DRAINAGE AREA B:**  
 TO RAIN GARDEN B  
 AREA = 1,307 SF (0.030 AC)  
 IMPERVIOUS AREA = 787 SF  
 PERVIOUS AREA = 540 SF  
 PERCENT IMPERVIOUS = 58.7%

**DRAINAGE AREA C:**  
 TO RAIN GARDEN C  
 AREA = 1,292 SF (0.030 AC)  
 IMPERVIOUS AREA = 434 SF  
 PERVIOUS AREA = 858 SF  
 PERCENT IMPERVIOUS = 33.6%

**DRAINAGE AREA D:**  
 TO LANDSCAPE INFILTRATION A  
 AREA = 2,339 SF (0.054 AC)  
 IMPERVIOUS AREA = 418 SF  
 PERVIOUS AREA = 1,921 SF  
 PERCENT IMPERVIOUS = 17.9%

**LEGEND**

- LOD LIMITS OF DISTURBANCE
- PROPOSED DRAINAGE AREA
- PROPOSED STORMWATER MANAGEMENT FACILITY
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PLANTING AREA
- PROPOSED MULCH PATH

NO.	DATE	DESCRIPTION

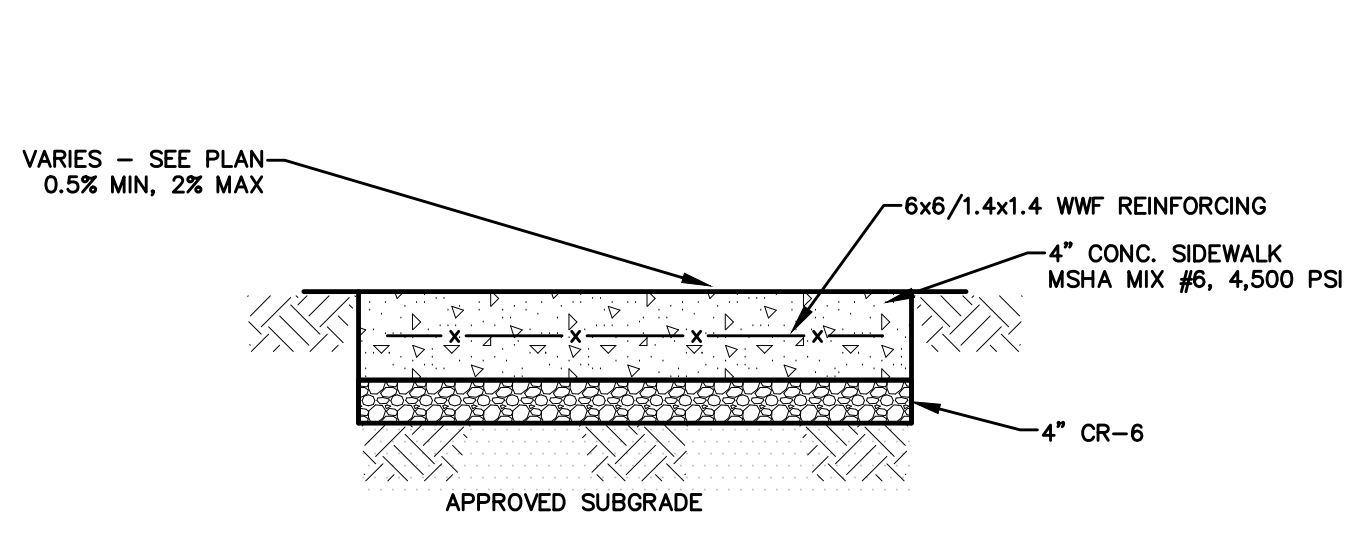
DATE: JAN 2026  
 CAA PROJECT NO.: 926.001  
 DRAWN BY: MS  
 CHECKED BY: JA

**SITE PLAN AND  
 STORMWATER  
 MANAGEMENT  
 PLAN**  
 SHEET

**C-200**

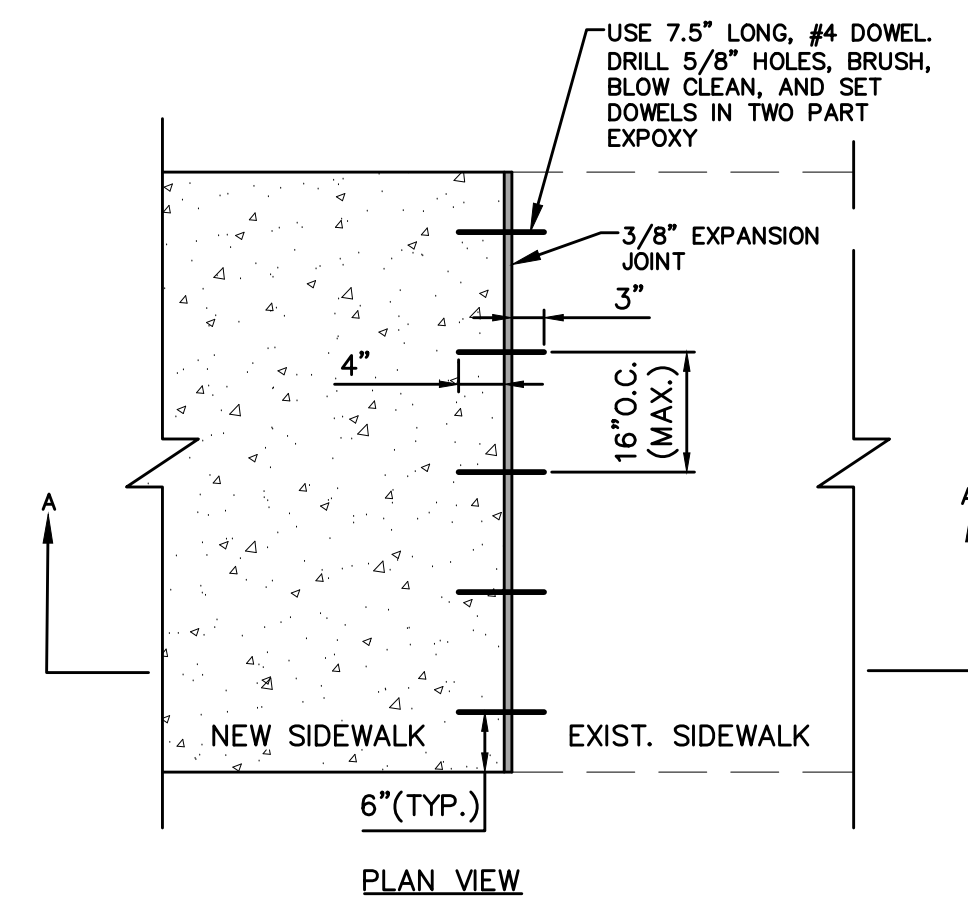
\A\2026\001 - WT Page Pro\A\2026\DWG\C-200 - SITE AND STORMWATER MANAGEMENT PLAN.dwg 2/3/2026 8:51 AM

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.



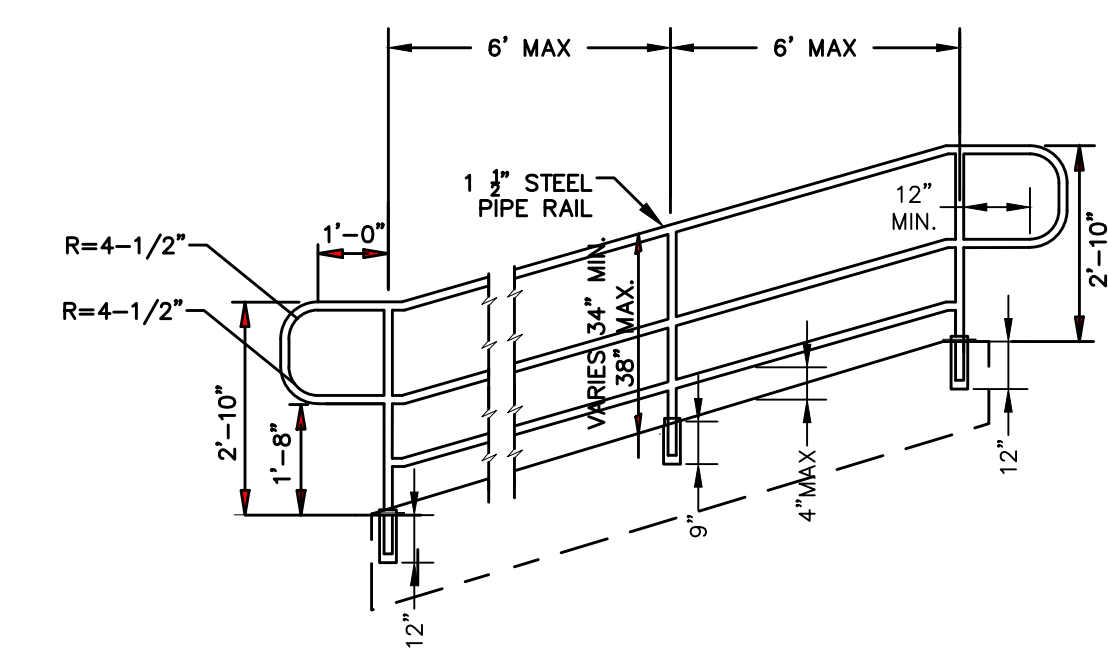
- REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS.
- EXPANSION JOINT MATERIAL SHALL BE PLACED AROUND POLES, HYDRANTS, ETC. AND ALONG THE PROPERTY LINE WHEN THE SIDEWALK ABUTS ANY RIGID PAVEMENT, SIDEWALK OR STRUCTURE.
- EXPANSION JOINT MATERIAL SHALL HAVE A MAXIMUM LONGITUDINAL SPACING OF 100 FEET. THE MATERIAL SHALL BE 1/2-INCH PREFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING, TWO-COMPONENT POLYSULFIDE OR POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH FS TT-S-00227.
- SCORE THE CONCRETE TO A DEPTH OF 1/3 THE SLAB THICKNESS TO PROVIDE WEAKENED PLANE TRAVERSE JOINTS AT 5'-0" INTERVALS, PARALLEL WITH AND PERPENDICULAR TO THE CURBING OR AS INDICATED ON THE SCORING PLAN.

**1 TYPICAL CONCRETE SIDEWALK SECTION**  
NOT TO SCALE



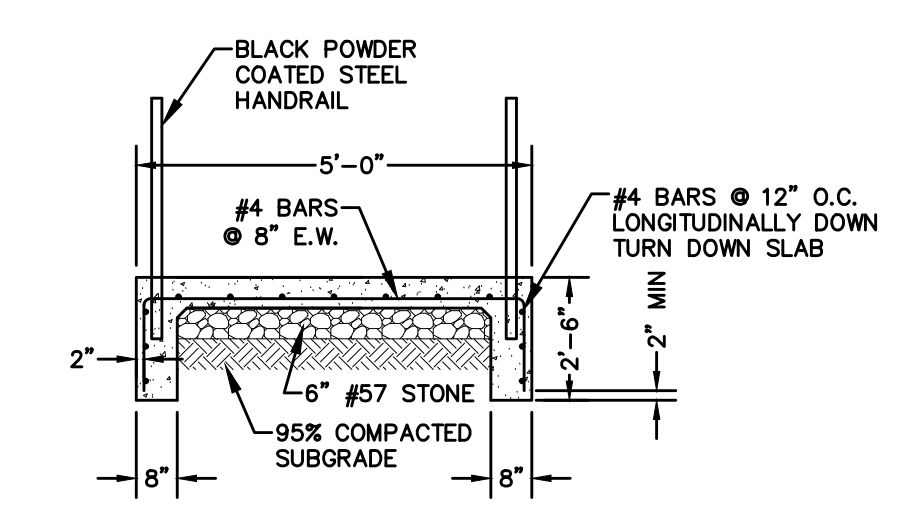
- NOTES:**
- DOWELS SHALL BE GRADE 60, PER ASTM-A615.
  - WHERE CONNECTION IS PROPOSED PER THE PLAN, ONLY IN RIGHT-OF-WAY, CONTRACTOR SHALL SAWCUT EXISTING SIDEWALK AT THE NEAREST JOINT AND CONNECT PER THIS DETAIL.
  - EXPANSION JOINT MATERIAL SHALL BE 3/8" PREFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING TWO-COMPONENT POLYSULFIDE OR POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH ASTM-C920. SEALANT SHALL BE FLUSH WITH ADJOINING SURFACES. UNDER NO CIRCUMSTANCES SHALL AN ELEVATION DIFFERENCE BETWEEN THE TOP OF ADJOINING SURFACES AND SEALANT BE MORE THAN 1/4".

**2 CONNECTION TO EXISTING SIDEWALK DETAIL**  
NOT TO SCALE

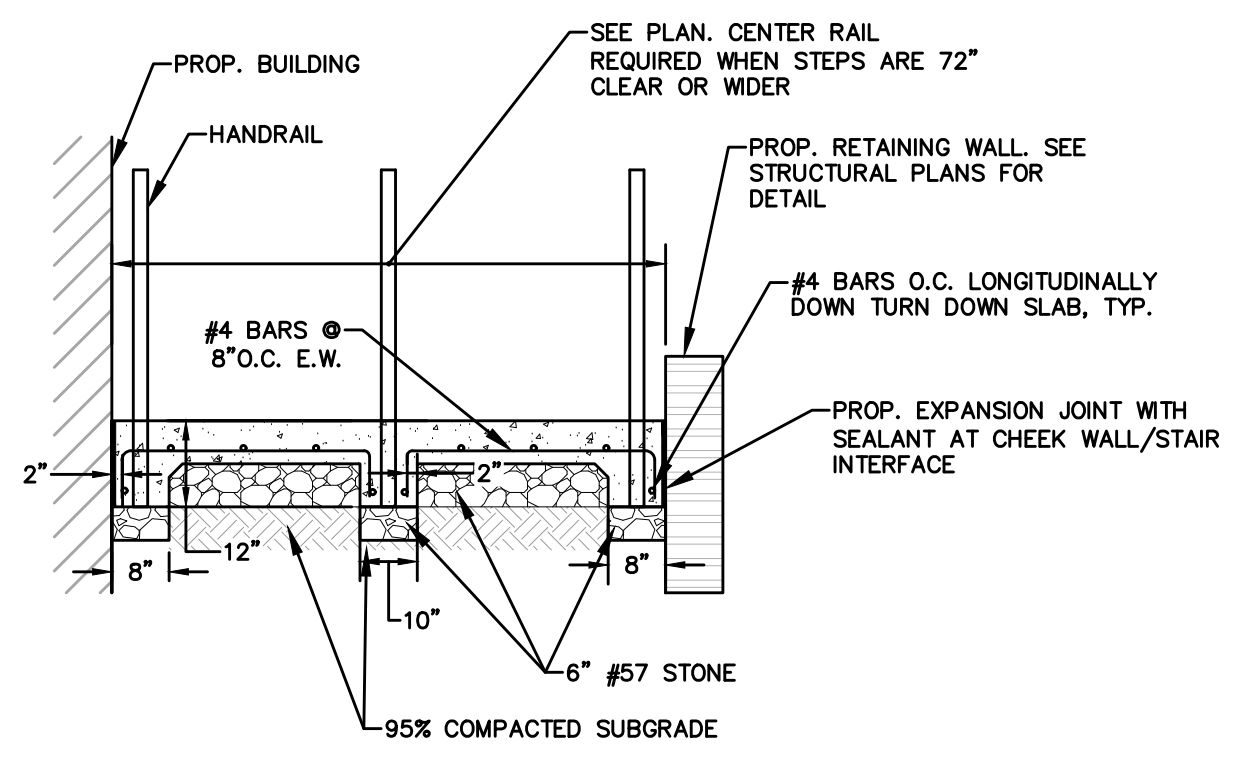
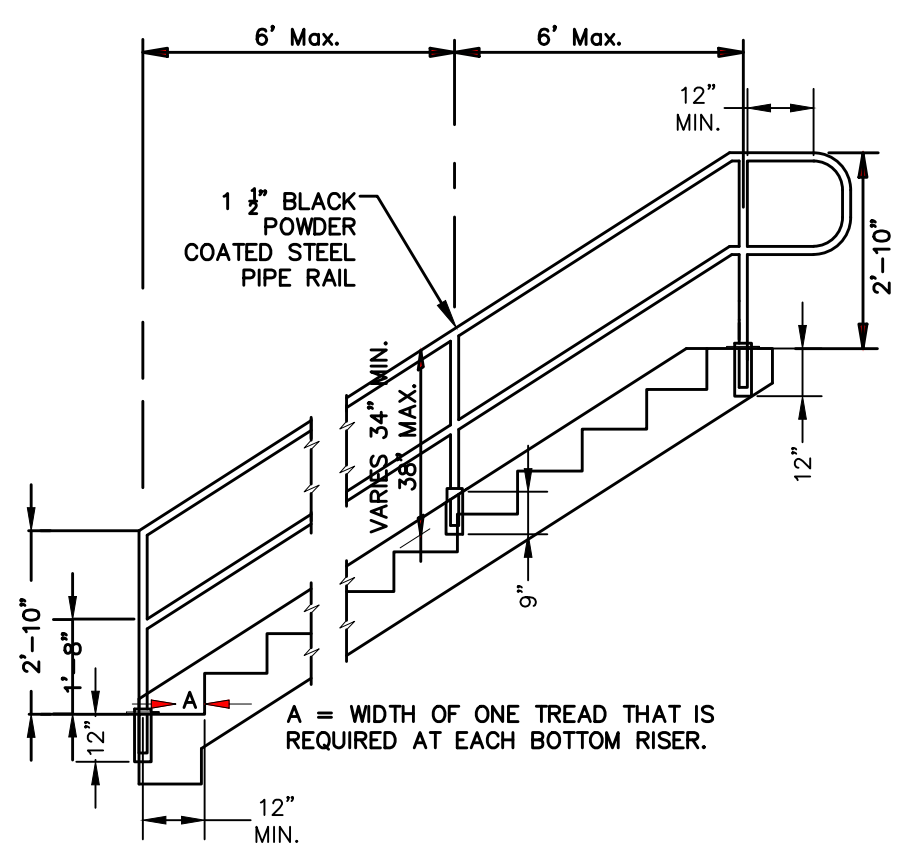
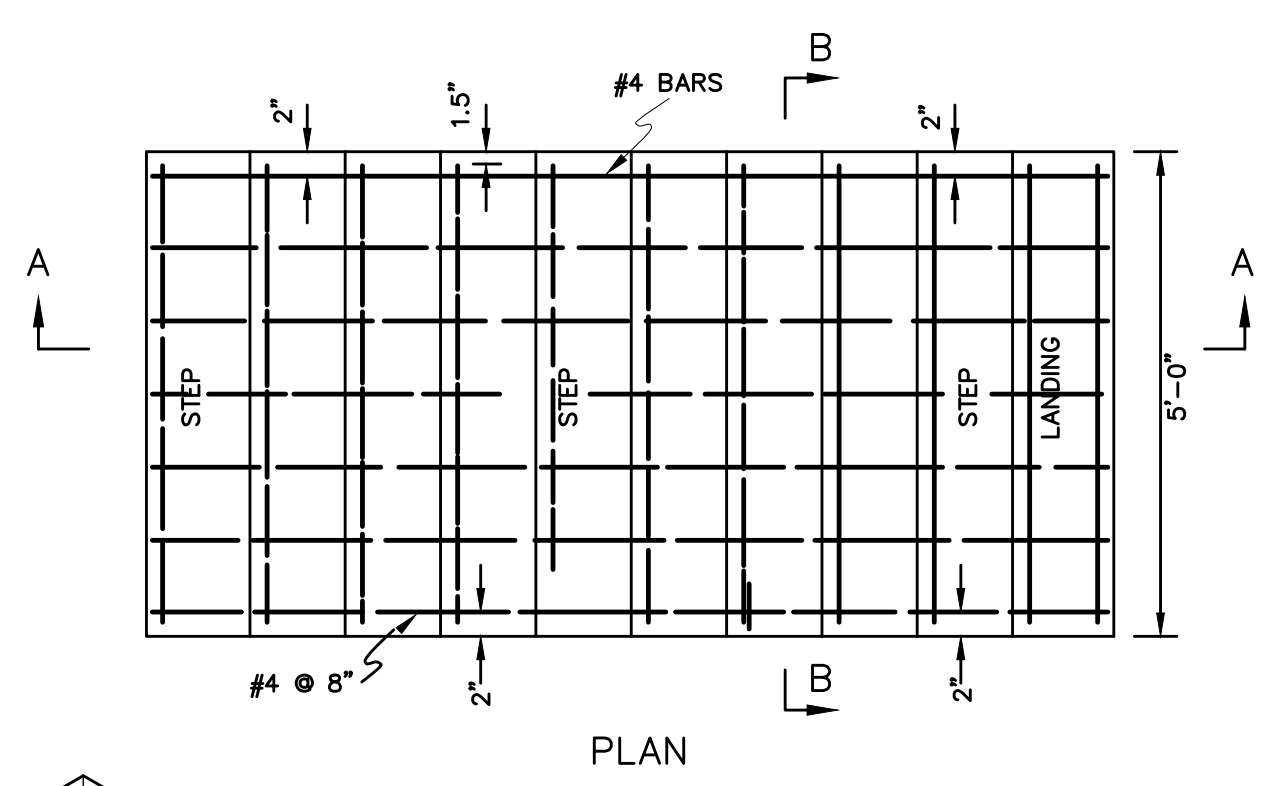


- NOTES:**
- ALL MATERIALS AND METHODS SHALL COMPLY WITH MSHA SPECIFICATIONS
  - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION OF THE HANDRAILS
  - THE COLOR OF THE HANDRAILS SHALL BE BLACK
  - POWDER COAT FINISH SHALL BE SHOP APPLIED.
  - SEE RAILING POST DETAIL FOR FASTENING METHODS.
  - A HANDRAIL SHALL BE PROVIDED ON BOTH SIDES OF THE RAMP WHERE INDICATED ON THE SITE PLAN

**3 RAMP DETAIL**  
NOT TO SCALE



**4 RAMP CROSS SECTION**  
NOT TO SCALE



- NOTES:**
- ALL MATERIALS AND METHODS SHALL COMPLY WITH MSHA SPECIFICATIONS.
  - ALL PIPE TO BE SHOP POWDER COATED BLACK.
  - RAILING SUPPORTS SHALL BE CORED INTO RAMP AND GROUTED IN PLACE. ALL CORES SHALL BE SEALED UPON SETTING OF RAILING SUPPORTS
  - THE CONTRACTOR SHALL COORDINATE THE LOCATION OF THE SUPPORTS FOR THE HANDRAIL
  - ALL TUBE JOINTS TO BE WELDED AND GROUND SMOOTH
  - RAILING SHALL BE LOCATED ALONG BOTH SIDES OF THE RAMP
  - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION
  - CONCRETE TO BE 4,500 PSI

**5 CONCRETE STAIR DETAIL**  
NOT TO SCALE



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LIBER/FOLIO: L: 05629 F: 00714  
ELECTION DISTRICT: 7

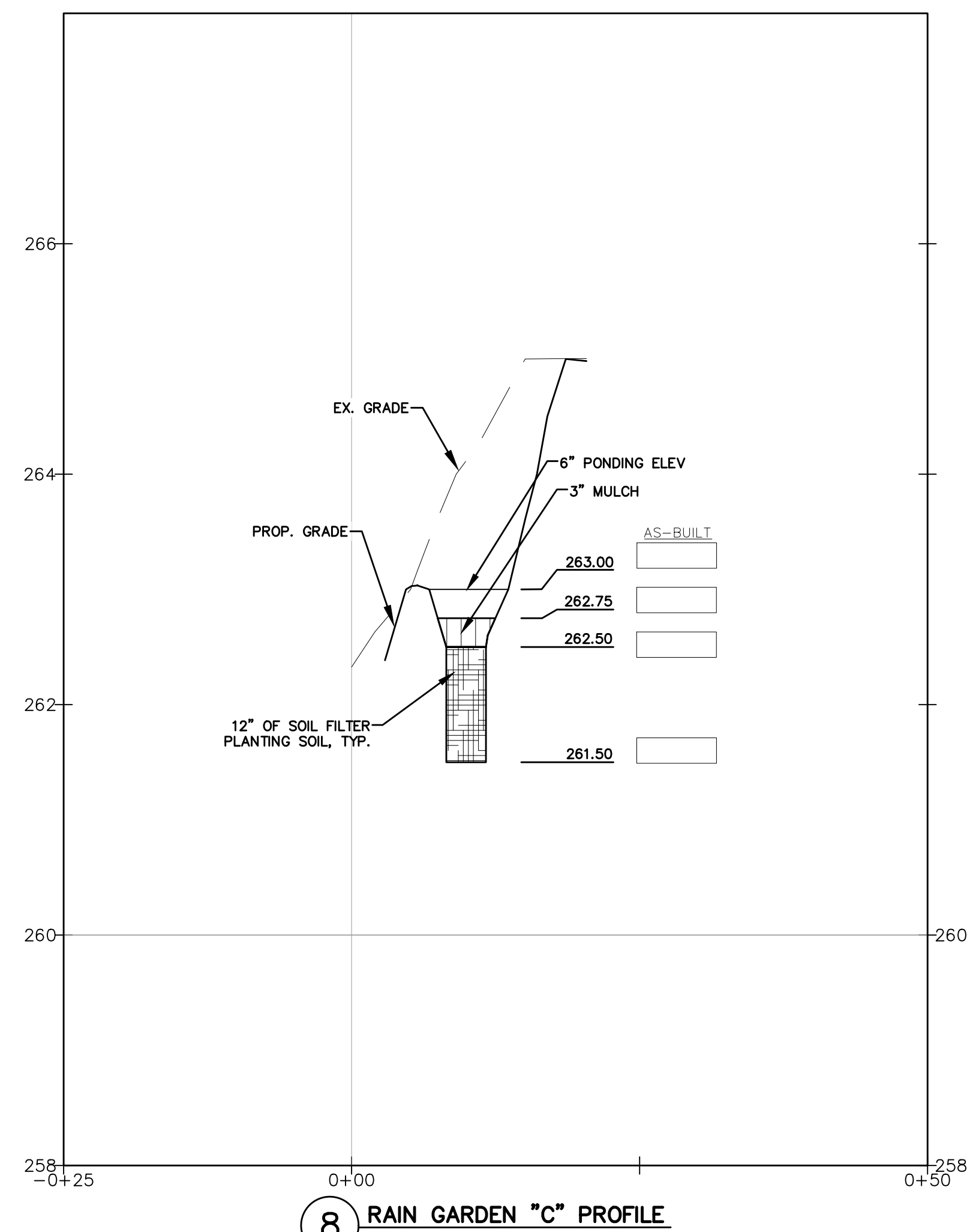
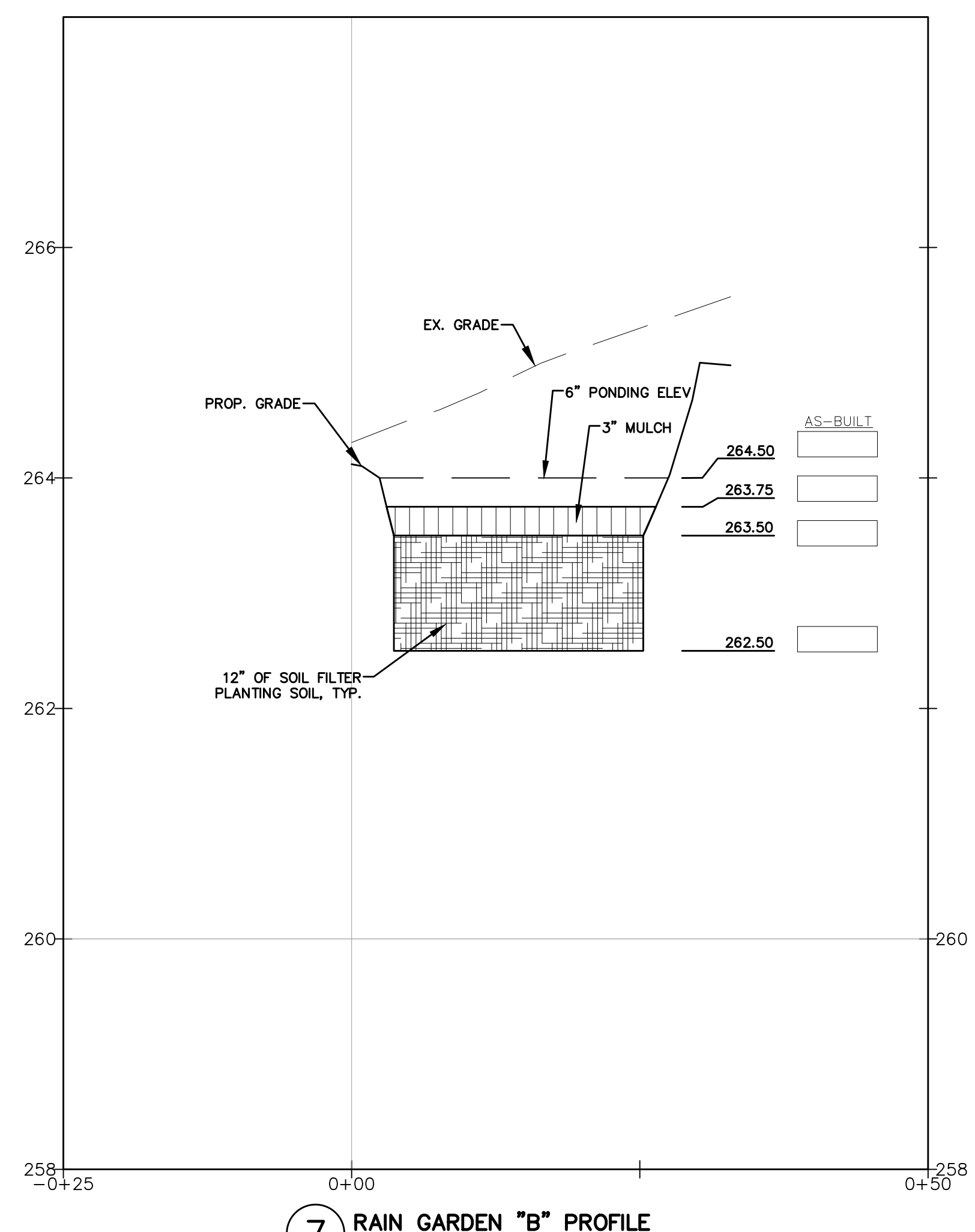
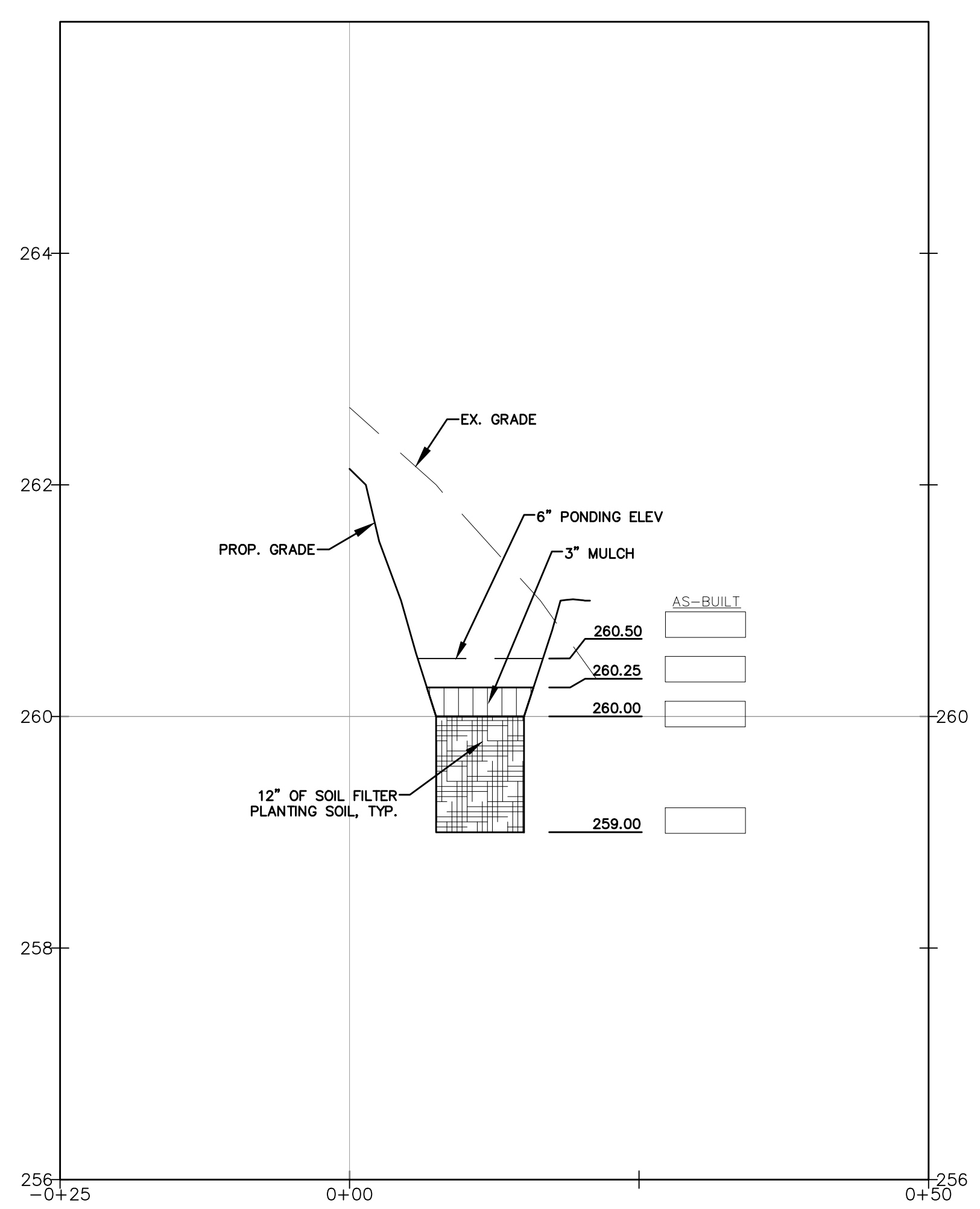
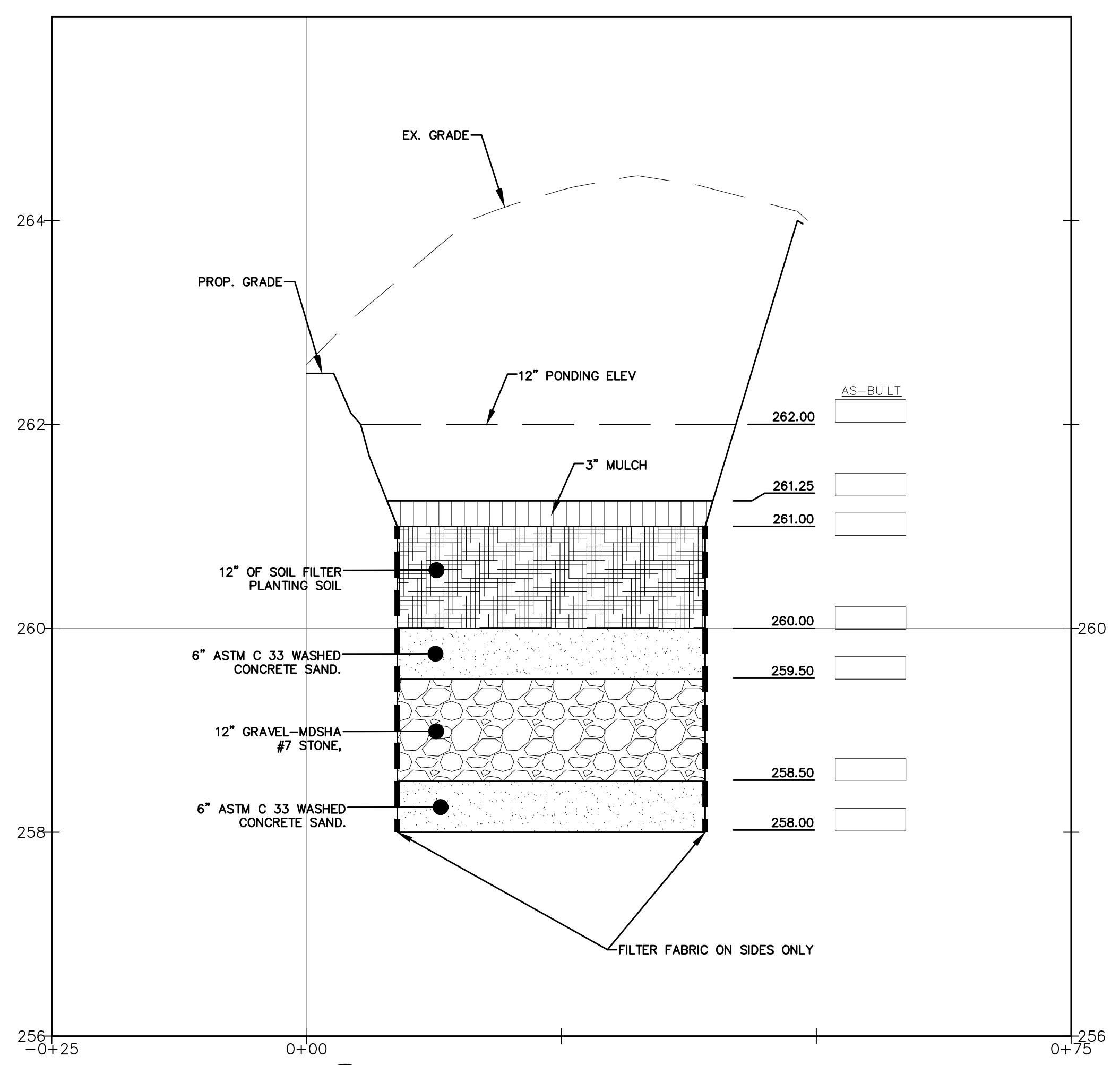
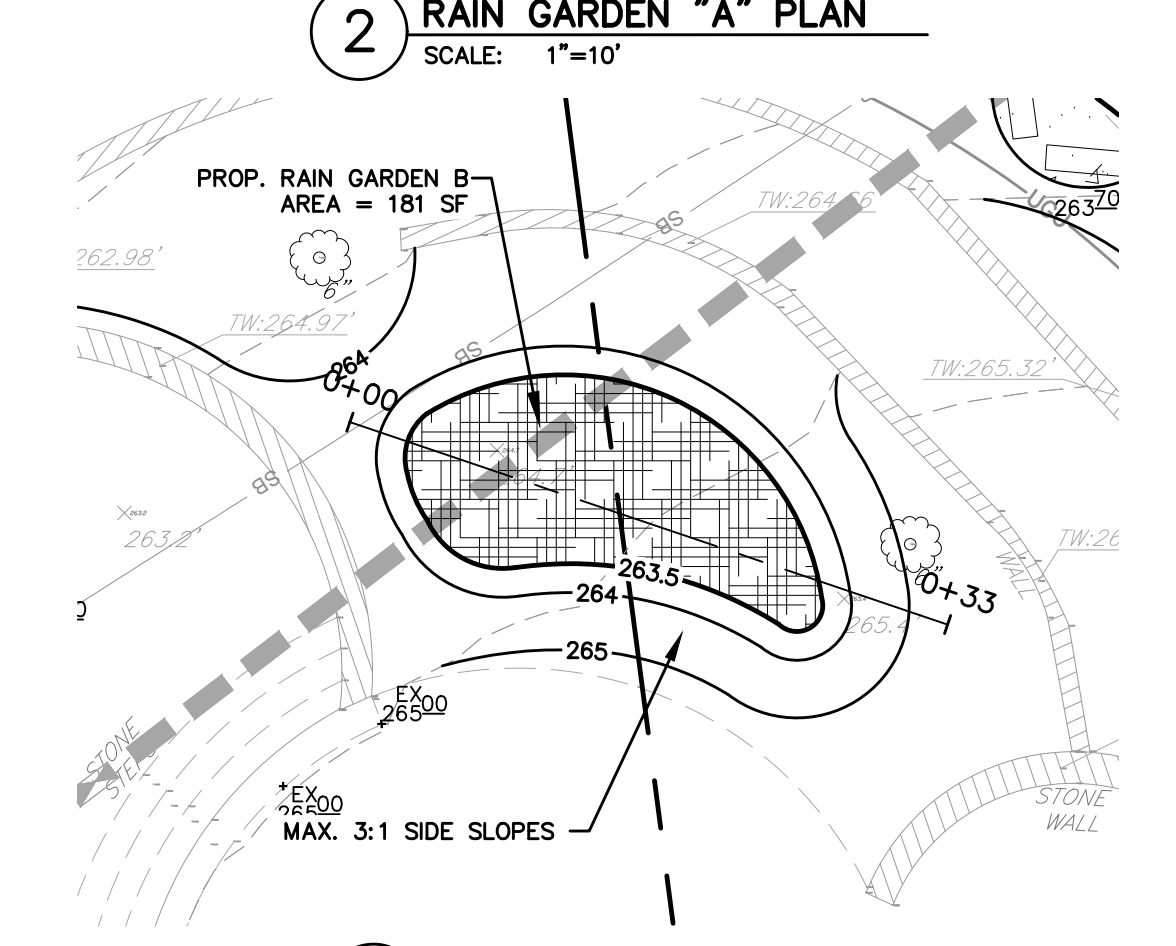
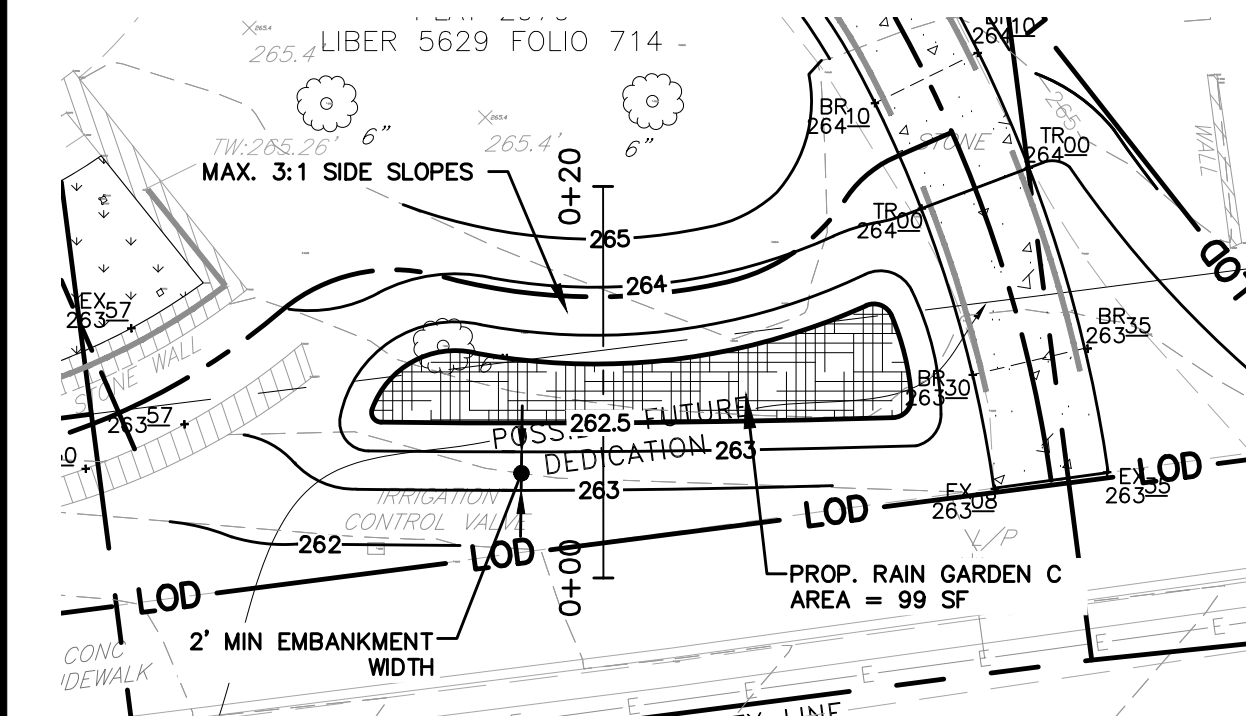
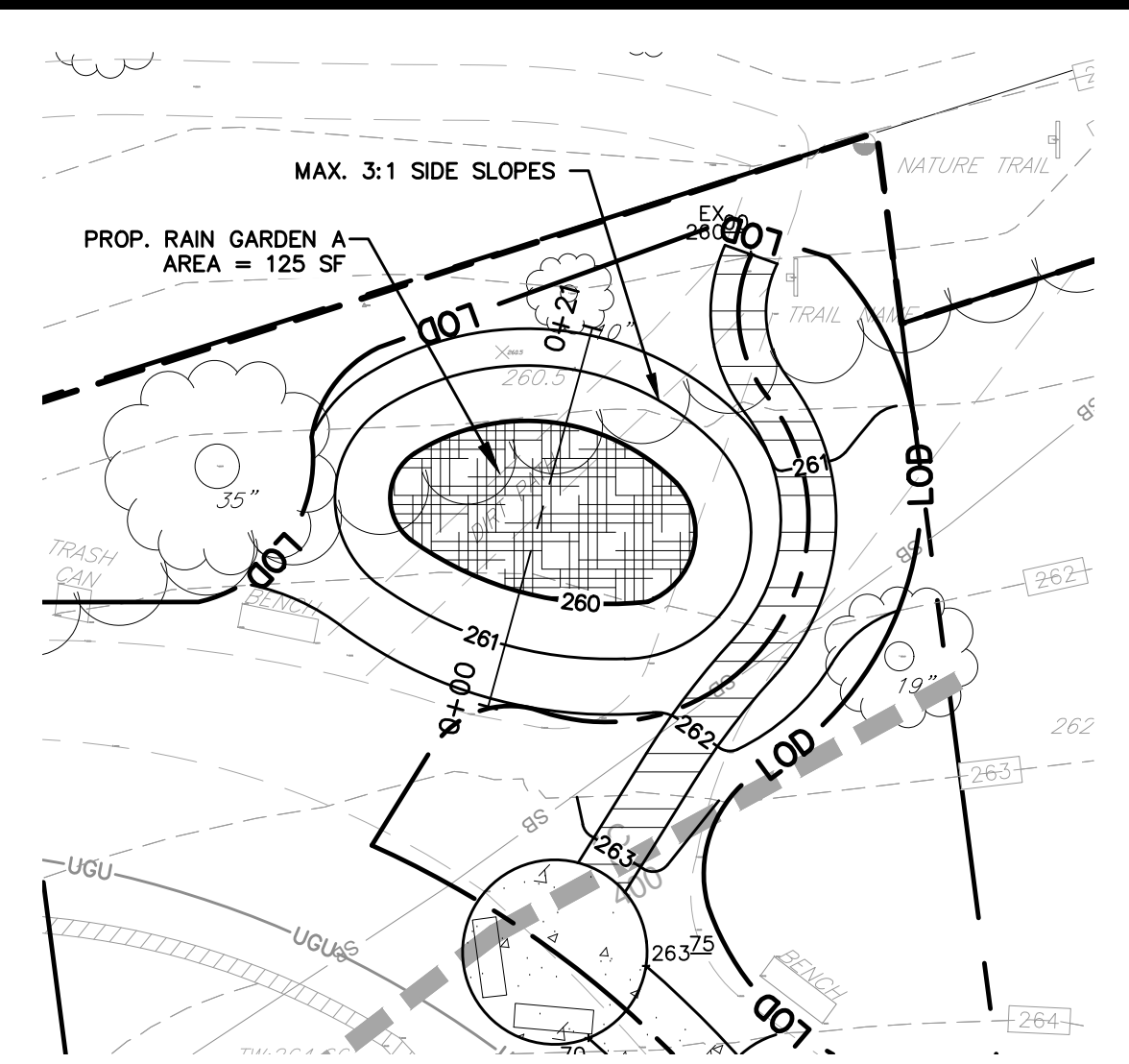
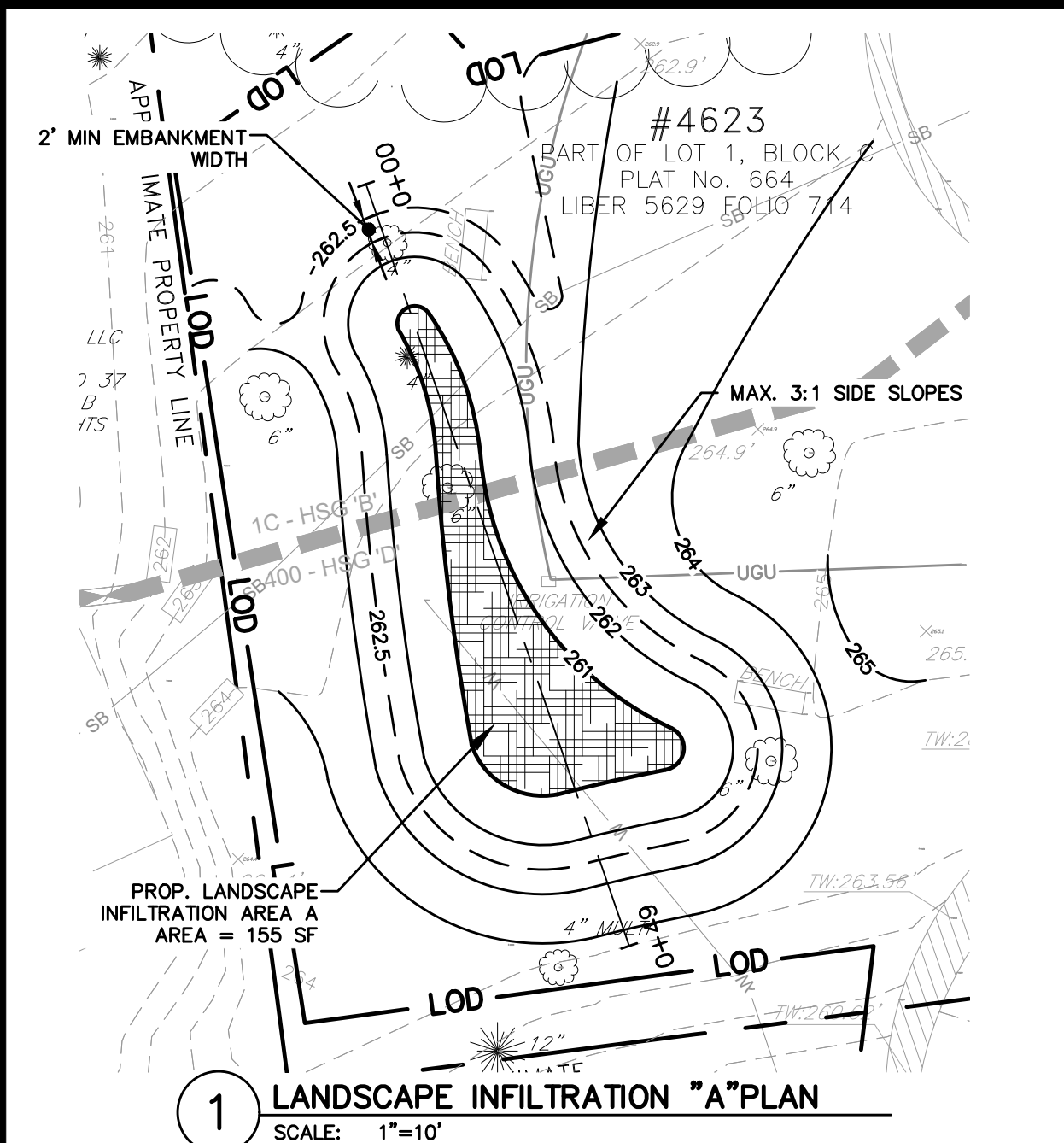
NO.	DATE	DESCRIPTION

DATE: JAN 2026  
CAA PROJECT NO.: 926.001  
DRAWN BY: MS  
CHECKED BY: JA  
SHEET TITLE

**SITE DETAILS**

SHEET

**C-205**



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LIBER/FOLIO: L: 05629 F: 00714  
ELECTION DISTRICT: 7

NO.	DATE	DESCRIPTION

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CHECKED BY: JA  
SHEET TITLE

**STORMWATER MANAGEMENT DETAILS**

SHEET

**C-210**





01/29/2026  
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NO.	DATE	DESCRIPTION

DATE:	JAN 2026
CAA PROJECT NO.:	926.001
DRAWN BY:	MS
CHECKED BY:	JA
SHEET TITLE	

**GRADING PLAN**

SHEET  
**C-300**

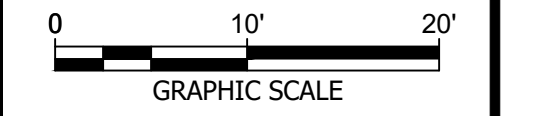


**LEGEND**

- LOD LIMITS OF DISTURBANCE
- PROPOSED DRAINAGE AREA
- PROPOSED STORM DRAIN
- PROPOSED STORMWATER MANAGEMENT FACILITY
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE DEMOLITION
- PROPOSED MULCH PATH

**ADA GRADING LEGEND**

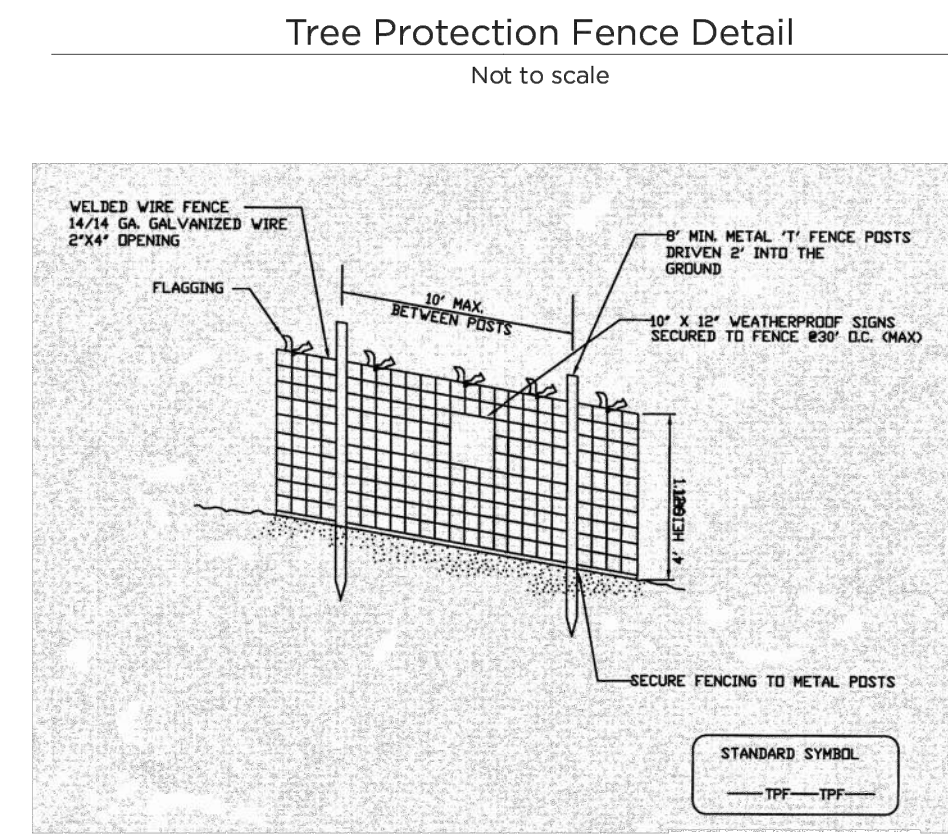
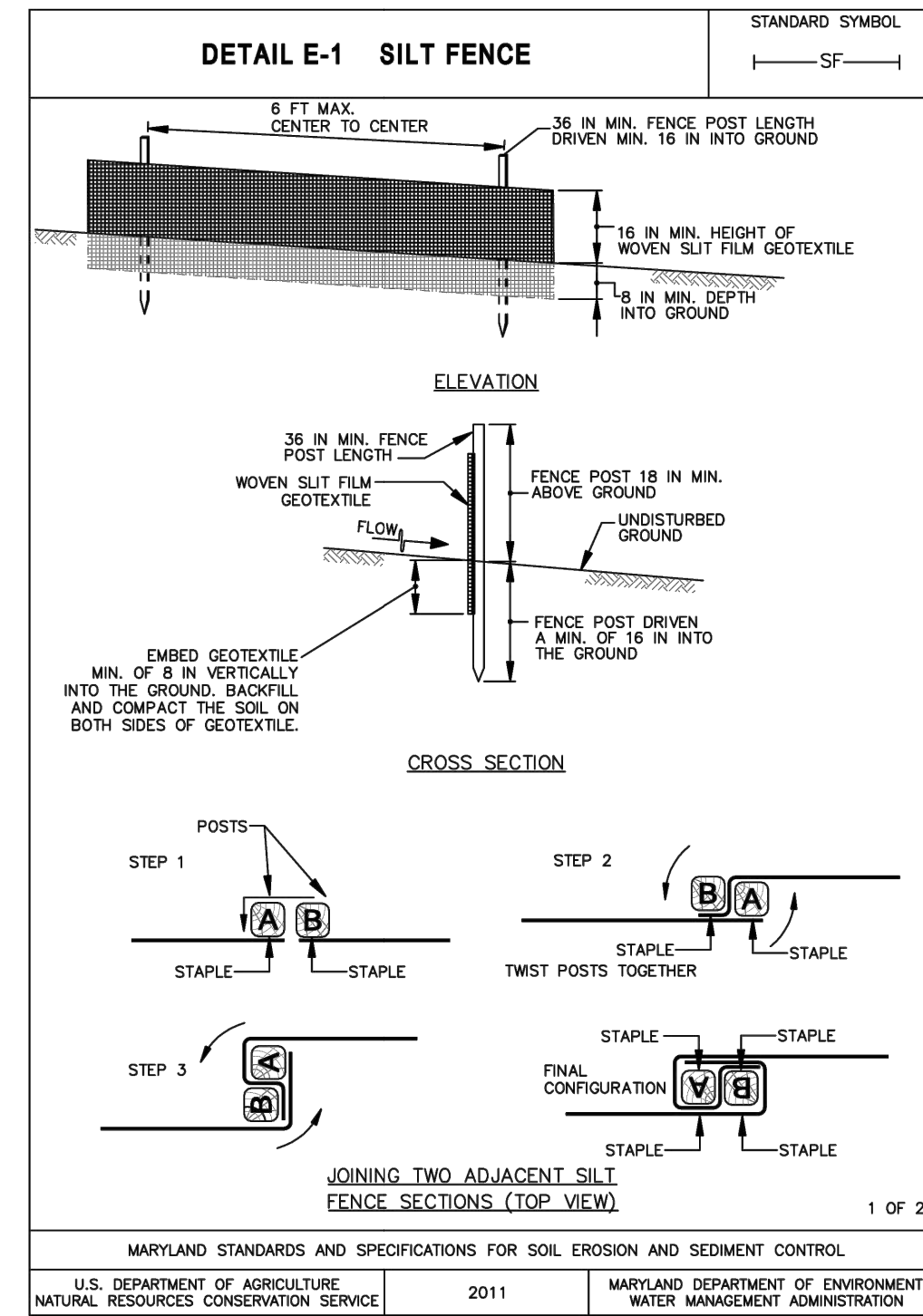
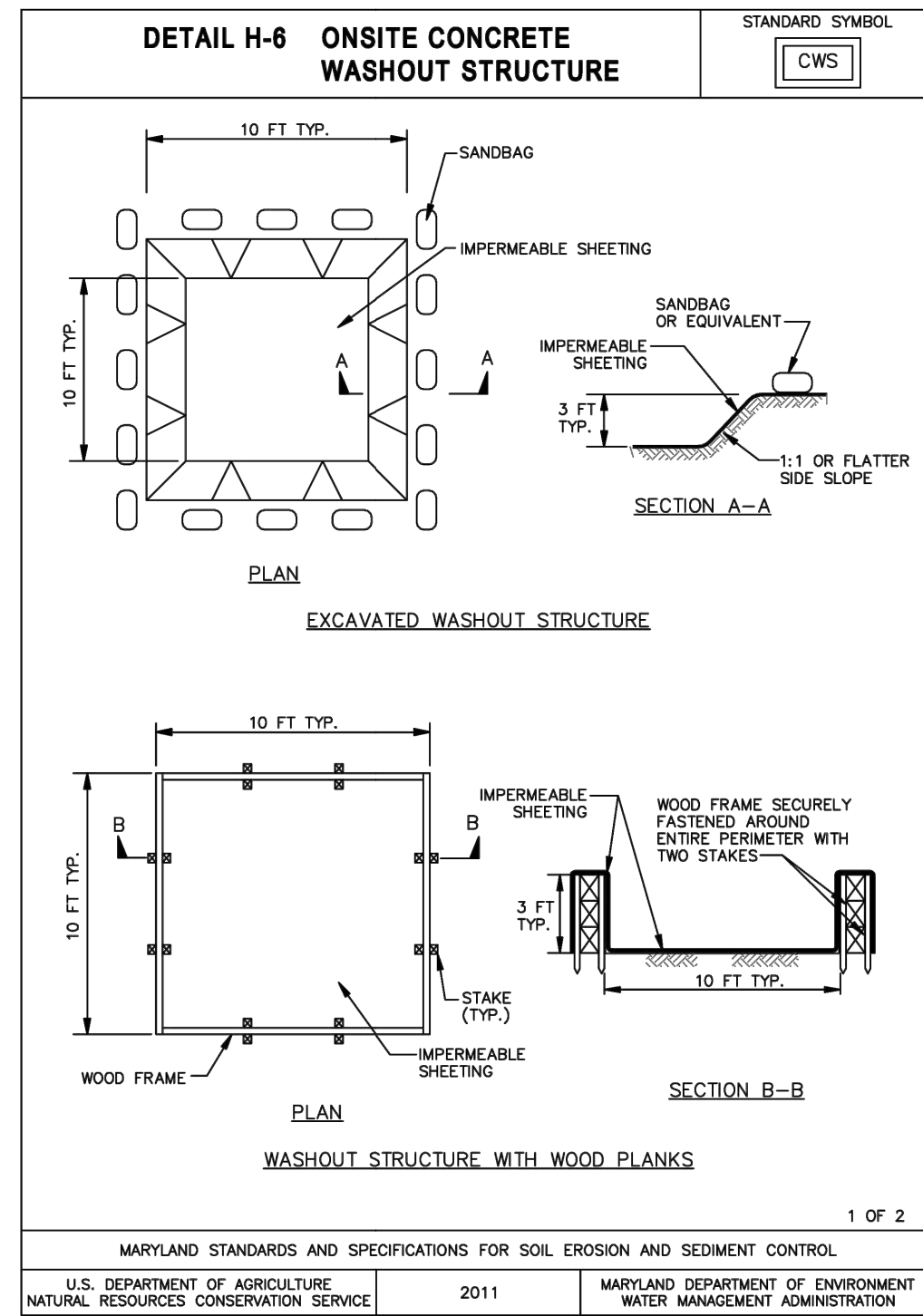
- SIDEWALK LANDING. 1.75% MAX DESIGN SLOPE IN ANY DIRECTION
- ACCESSIBLE SIDEWALK. 4.75% MAX DESIGN LONGITUDINAL SLOPE AND 1.75% MAX DESIGN CROSS SLOPE
- SIDEWALK RAMP. 8.0% MAX DESIGN LONGITUDINAL SLOPE AND 1.5% MAX DESIGN CROSS SLOPE



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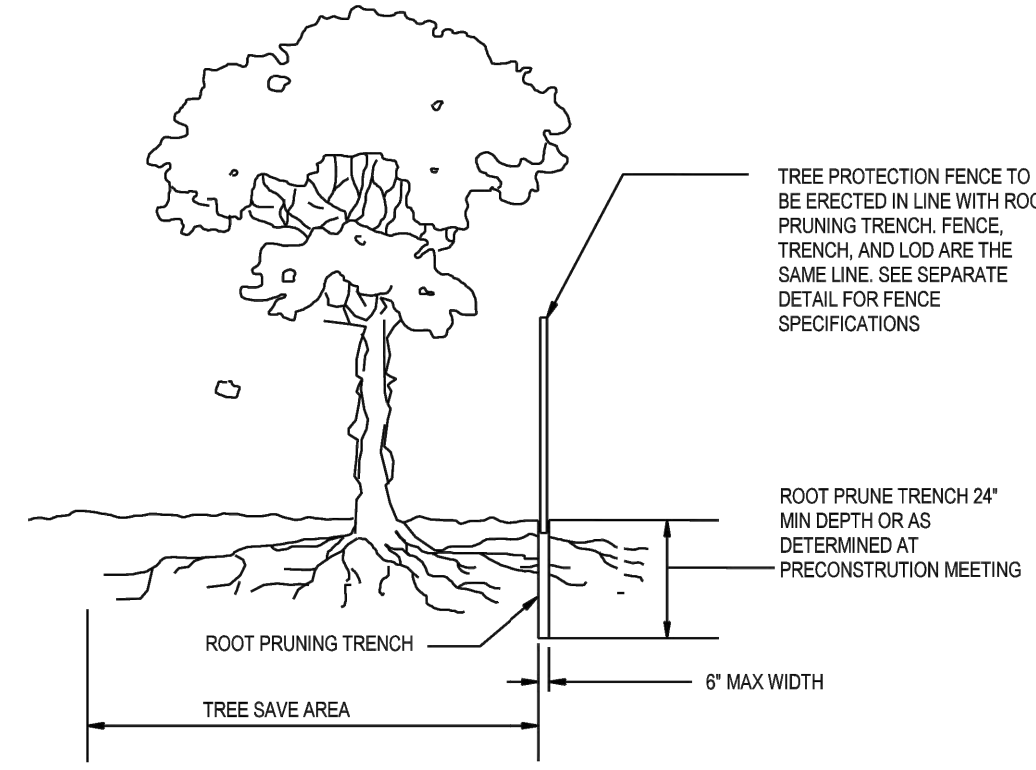
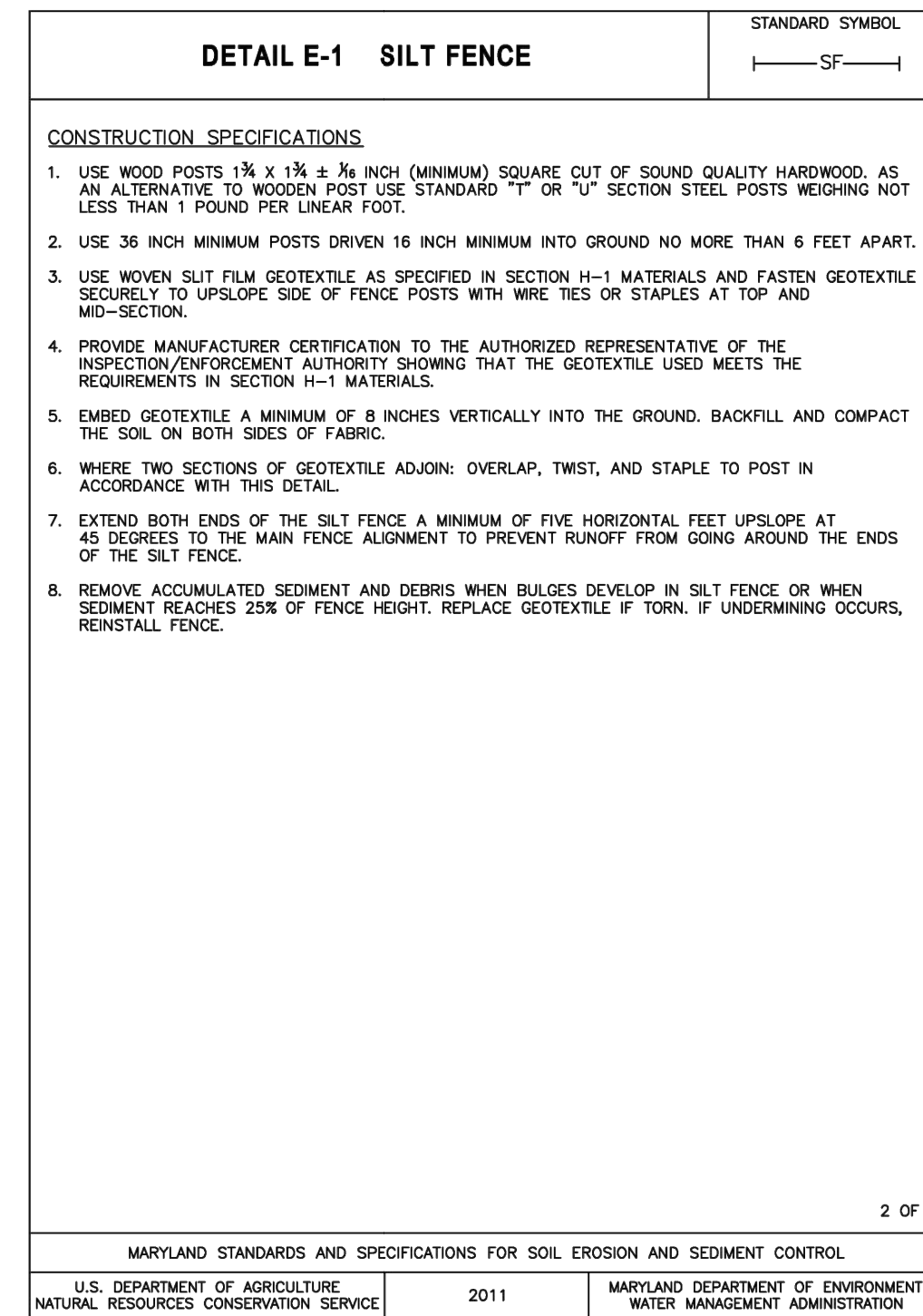
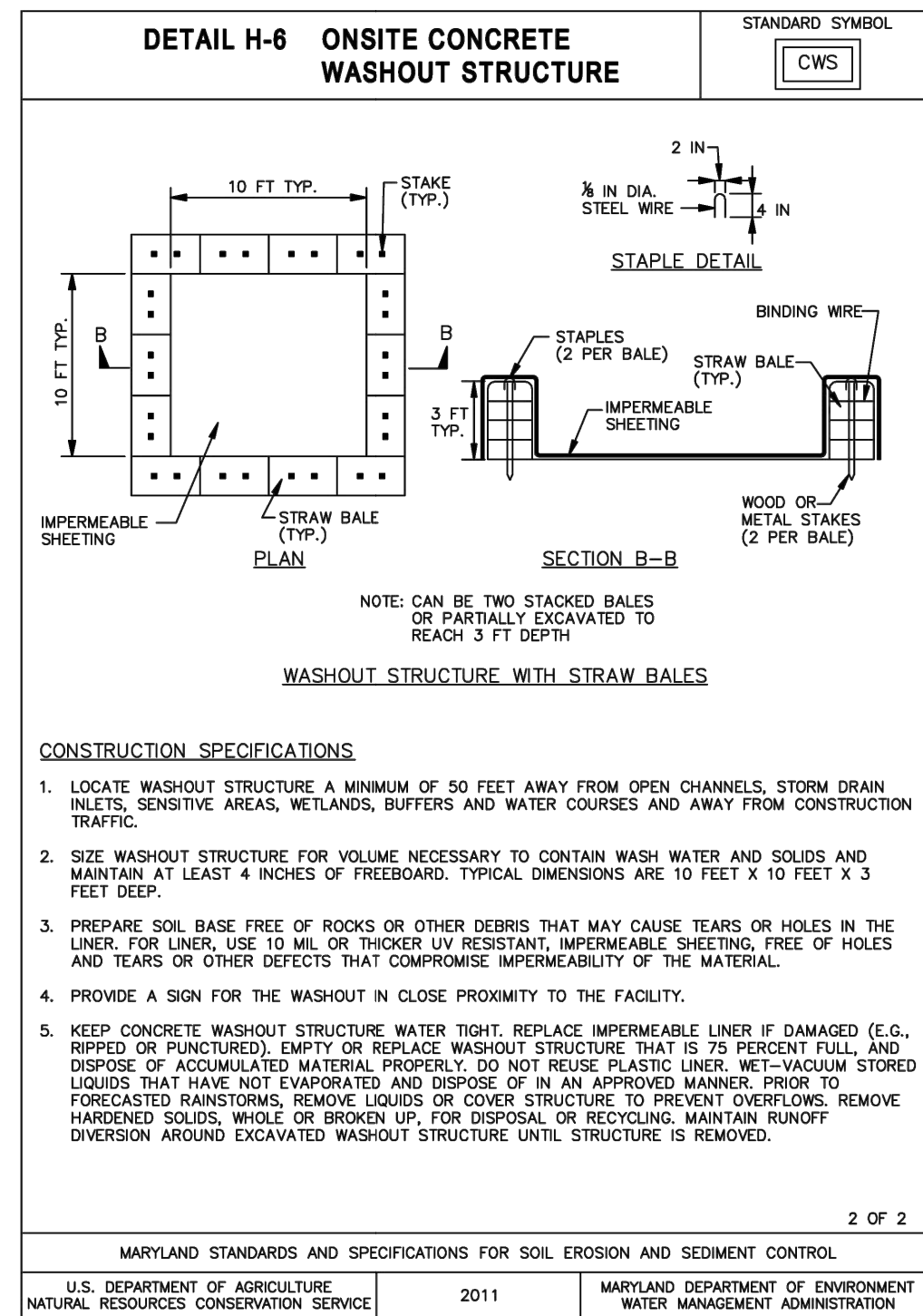
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- NOTES**
1. Practice may be combined with sediment control fencing.
  2. Location and limits of fencing should be coordinated in field with arborist.
  3. Boundaries of protection area should be staked prior to installing protective device.
  4. Root damage should be avoided.
  5. Protection signage is required.
  6. Fencing shall be maintained throughout construction.

Montgomery County Planning Department • M-NCPPC  
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- NOTES:**
1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRECONSTRUCTION MEETING.
  2. BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRECONSTRUCTION MEETING AND FLAGGED PRIOR TO TRENCHING.
  3. EXACT LOCATION OF TRENCH SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FOREST CONSERVATION (FC) INSPECTOR.
  4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FC INSPECTOR.
  5. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.
  6. ALL PRUNING MUST BE EXECUTED WITH LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FC INSPECTOR.

ROOT PRUNING DETAIL NTS

**CLARK | AZAR & ASSOCIATES**  
20440 Century Blvd, Suite 220  
Germantown, MD, 20874  
T(301) 528-2010  
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01/29/2026

PROFESSIONAL CERTIFICATION:  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 31168

EXPIRATION DATE: 01/12/2027

**WILLIAM TYLER PAGE PARK**  
4623 N PARK AVE  
CHEVY CHASE, MARYLAND 20815  
WSSC GRID: 207NW04 TAX MAP: HM33  
SUBDIVISION: 0025 PARCEL: N/A LOT: P1 /BLOCK: C  
LIBER/FOLIO: L: 05629 F: 00714  
ELECTION DISTRICT: 7

NO.	DATE	DESCRIPTION

DATE: JAN 2026  
CAA PROJECT NO.: 926.001  
DRAWN BY: MS  
CHECKED BY: JA

SHEET TITLE  
**EROSION AND SEDIMENT CONTROL DETAILS**  
SHEET  
**C-410**

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CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

- THE PERMITTEE SHALL NOTIFY THE DEPARTMENT OF PERMITTING SERVICES (DPS) FORTY-EIGHT (48) HOURS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITY AND, UNLESS WAIVED BY THE DEPARTMENT, SHALL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN THEM OR THEIR REPRESENTATIVE, THEIR ENGINEER, AND AN AUTHORIZED REPRESENTATIVE OF THE DEPARTMENT.
- THE PERMITTEE MUST PRE-INSPECT AND APPROVAL BY DPS AT THE FOLLOWING POINTS:
  - AT THE REQUIRED PRE-CONSTRUCTION MEETING.
  - FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES AND PRIOR TO ANY OTHER LAND DISTURBING ACTIVITY.
  - DURING THE INSTALLATION OF A SEDIMENT BASIN OR STORMWATER MANAGEMENT STRUCTURE AT THE REQUIRED INSPECTION POINTS (SEE INSPECTION CHECKLIST ON PLAN). NOTIFICATION PRIOR TO COMMENCING CONSTRUCTION IS MANDATORY.
  - PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE(S).
  - PRIOR TO FINAL ACCEPTANCE.
- THE PERMITTEE SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE, SHALL HAVE THEM INSPECTED AND APPROVED BY THE DEPARTMENT PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES, SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES, AND SHALL NOT REMOVE ANY EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM THE DEPARTMENT.
- THE PERMITTEE SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO TRAVELED PUBLIC THROUGHFARE(S). ALL MATERIALS DEPOSITED ONTO PUBLIC THROUGHFARE(S) SHALL BE REMOVED IMMEDIATELY.
- THE PERMITTEE SHALL INSPECT PERIODICALLY AND MAINTAIN CONTINUOUSLY IN EFFECTIVE OPERATING CONDITION, ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIME AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM THE DEPARTMENT. THE PERMITTEE IS RESPONSIBLE FOR IMMEDIATELY REPAIRING OR REPLACING ANY SEDIMENT CONTROL MEASURES WHICH HAVE BEEN DAMAGED OR REMOVED BY THE PERMITTEE OR ANY OTHER PERSON.
  - \* FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
    - THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING. ALL AREAS DISTURBED OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST BE MINIMIZED AND STABILIZED IMMEDIATELY. MAINTENANCE MUST BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION.
- THE PERMITTEE SHALL APPLY \*SOD, SEED, AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES TO ALL DISTURBED AREAS WITHIN SEVEN (7) CALENDAR DAYS AFTER STRIPPING AND GRADING ACTIVITIES HAVE CEASED ON THAT AREA. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS, AND AREAS WITHIN FIFTY (50) FEET OF A BUILDING UNDER CONSTRUCTION MAY BE EXEMPT FROM THIS REQUIREMENT, PROVIDED THAT EROSION AND SEDIMENT CONTROL MEASURES ARE INSTALLED AND MAINTAINED TO PROTECT THOSE AREAS.
- PRIOR TO REMOVAL OF SEDIMENT CONTROL MEASURES, THE PERMITTEE SHALL STABILIZE ALL CONTRIBUTORY DISTURBED AREAS WITH REQUIRED SOIL AMENDMENTS AND TOPSOIL, USING SOD OR AN APPROVED PERMANENT SEED MIXTURE AND AN APPROVED ANCHORED MULCH. WOOD FIBER MULCH MAY ONLY BE USED IN SEEDING SEASON WHEN THE SLOPE DOES NOT EXCEED 10% AND GRADING HAS BEEN DONE TO PROMOTE SHEET FLOW DRAINAGE. AREAS BROUGHT TO FINISHED GRADE DURING THE SEEDING SEASON SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN (7) CALENDAR DAYS OF ESTABLISHMENT WHEN PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, AN APPROVED TEMPORARY SEED AND STRAW ANCHORED MULCH SHALL BE APPLIED TO DISTURBED AREAS. THE FINAL PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE COMPLETED PRIOR TO THE FOLLOWING APRIL 15.
- THE SITE PERMIT, WORK, MATERIALS, APPROVED SC/SM PLANS, AND TEST REPORTS SHALL BE AVAILABLE AT THE WORK FOR INSPECTION BY DULY AUTHORIZED OFFICIALS OF MONTGOMERY COUNTY.
- SURFACE DRAINAGE FLOWS OVER UNSTABILIZED CUT AND FILL SLOPES SHALL BE CONTROLLED BY EITHER PREVENTING DRAINAGE FLOWS FROM TRAVERSING THE SLOPES OR BY INSTALLING MECHANICAL DEVICES TO LOWER THE WATER DOWN SLOPE WITHOUT CAUSING EROSION. DIKES SHALL BE INSTALLED AND MAINTAINED AT THE TOP OF CUT OR FILL SLOPES UNTIL THE SLOPE AND DRAINAGE AREA IS STABILIZED. MECHANICAL DEVICES SHALL BE INSTALLED AND MAINTAINED TO PROMOTE SHEET FLOW DRAINAGE. MECHANICAL DEVICES MUST BE PROVIDED AT POINTS OF CONCENTRATED FLOW WHERE EROSION IS LIKELY TO OCCUR.
- PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITHIN 3 CALENDAR DAYS OF ESTABLISHMENT WITH \*SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING OR BY OTHER APPROVED STABILIZATION MEASURES.
- SEDIMENT CONTROL DEVICES SHALL BE REMOVED, WITH PERMISSION OF THE DEPARTMENT, WITHIN THIRTY CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS. STORMWATER MANAGEMENT STRUCTURES USED TEMPORARILY FOR SEDIMENT CONTROL SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION WITHIN THIS TIME PERIOD AS WELL.
- \* NO PERMANENT CUT OR FILL SLOPE WITH A GRADIENT STEEPER THAN 3:1 WILL BE PERMITTED IN LAWN MAINTENANCE AREAS OR ON RESIDENTIAL LOTS. A SLOPE GRADIENT OF UP TO 2:1 WILL BE PERMITTED IN NON-MAINTENANCE AREAS PROVIDED THAT THOSE AREAS ARE INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN. MAINTENANCE AREAS SHALL BE PERMANENTLY SPECIFIED FOR PERMANENT STABILIZATION. SLOPE GRADIENT STEEPER THAN 2:1 WILL NOT BE PERMITTED WITH VEGETATIVE STABILIZATION.
- THE PERMITTEE SHALL INSTALL A SPLASHBLOCK AT THE BOTTOM OF EACH DOWNSPOUT UNLESS THE DOWNSPOUT IS CONNECTED BY A DRAIN LINE TO AN ACCEPTABLE OUTLET
- FOR FINISHED GRADING, THE PERMITTEE SHALL PROVIDE ADEQUATE GRADIENTS SO AS TO PREVENT WATER FROM STANDING ON THE SURFACE OF LAWNS MORE THAN TWENTY-FOUR (24) HOURS AFTER THE END OF A RAINFALL, EXCEPT IN DESIGNATED DRAINAGE COURSES AND SWALE FLOW AREAS, WHICH MAY DRAIN AS LONG AS FORTY-EIGHT (48) HOURS AFTER THE END OF A RAINFALL.
- SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN 20 FEET OF A BUILDING WHICH IS EXISTING OR UNDER CONSTRUCTION. NO BUILDING MAY BE CONSTRUCTED WITHIN 20 FEET OF A SEDIMENT TRAP OR BASIN.
- ALL INLETS IN NON-SUMP AREAS SHALL HAVE ASPHALT BERMS INSTALLED AT THE TIME OF BASE PAVING ESTABLISHMENT.
- THE SEDIMENT CONTROL INSPECTOR HAS THE OPTION OF REQUIRING ADDITIONAL SEDIMENT CONTROL MEASURES, AS DEEMED NECESSARY.
- ALL TRAP ELEVATIONS ARE RELATIVE TO THE OUTLET ELEVATION, WHICH MUST BE ON EXISTING UNDISTURBED
- \*VEGETATIVE STABILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- SEDIMENT TRAP(S)/BASIN(S) SHALL BE CLEANED OUT AND RESTORED TO THE ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO THE POINT OF ONE-HALF (1/2) THE WET STORAGE DEPTH OF THE TRAP/BASIN (1/4 THE WET STORAGE DEPTH FOR ST-III) OR WHEN REQUIRED BY THE SEDIMENT CONTROL INSPECTOR.
- SEDIMENT REMOVED FROM TRAPS/BASINS SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN.
- ALL SEDIMENT BASINS AND TRAPS MUST BE SURROUNDED WITH A WELDED WIRE SAFETY FENCE. THE FENCE MUST BE AT LEAST 42 INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN 8 FEET, HAVE MESH OPENINGS NO GREATER THAN TWO INCHES IN WIDTH AND FOUR INCHES IN HEIGHT, WITH A MINIMUM OF 14-GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.
- NO EXCAVATION IN THE AREAS OF EXISTING UTILITIES IS PERMITTED UNLESS THEIR LOCATION HAS BEEN DETERMINED. CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK.
- OFF-SITE SPOIL OR BORROW AREAS MUST HAVE PRIOR APPROVAL BY DPS.
- SEDIMENT TRAP/BASIN DEWATERING FOR CLEANOUT OR REPAIR MAY ONLY BE DONE WITH THE DPS INSPECTOR'S PERMISSION. THE INSPECTOR MUST APPROVE THE DEWATERING METHOD FOR EACH APPLICATION. THE FOLLOWING METHODS MAY BE CONSIDERED:
  - PUMP DISCHARGE MAY BE DIRECTED TO ANOTHER ON-SITE SEDIMENT TRAP OR BASIN, PROVIDED IT IS OF SUFFICIENT VOLUME AND THE PUMP INTAKE IS FLOATED TO PREVENT AGITATION OR SUCTION OF DEPOSITED SEDIMENTS; OR
  - THE PUMP INTAKE MAY UTILIZE A REMOVABLE PUMPING STATION AND MUST DISCHARGE INTO AN UNDISTURBED AREA THROUGH A NON-EROSIVE OUTLET; OR
  - THE PUMP INTAKE MAY BE FLOATED AND DISCHARGE INTO A DIRT BAG (12 OZ. NON-WOVEN FABRIC), OR APPROVED EQUIVALENT, LOCATED IN AN UNDISTURBED BUFFER AREA.
- REMEMBER: DEWATERING OPERATION AND METHOD MUST HAVE PRIOR APPROVAL BY THE DPS INSPECTOR.
- THE PERMITTEE MUST NOTIFY THE DEPARTMENT OF ALL UTILITY CONSTRUCTION ACTIVITIES WITHIN THE PERMITTED LIMITS OF DISTURBANCE PRIOR TO THE COMMENCEMENT OF THOSE ACTIVITIES.
- \* TOPSOIL MUST BE APPLIED TO ALL PERVIOUS AREAS WITHIN THE LIMITS OF DISTURBANCE PRIOR TO PERMANENT STABILIZATION IN ACCORDANCE WITH MDE STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS.
  - \* CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND THE SEDIMENT CONTROL INSPECTOR.

2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

A. SOIL PREPARATION

1. TEMPORARY STABILIZATION

- SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPER MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
- APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
- INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

2. PERMANENT STABILIZATION

- A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:
  - SOIL PH BETWEEN 6.0 AND 7.0.
  - SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).
  - SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE, AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.
  - SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
  - SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
- APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS.
- GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.
- D. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST.

B. TOPSOILING

- TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.
- TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.
- TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
  - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
  - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
  - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
  - THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
  - AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.

C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

- SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR RECOGNIZED PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.
- FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR IMMEDIATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER.
- LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE.
- LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

SEEDING AND MULCHING

A. SEEDING

1. SPECIFICATIONS

- ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.
- MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAWS.
- INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.
- SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILIZANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

2. APPLICATION

- DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.
  - INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.
  - APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDING AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.
- DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.
  - CULTIPACKER SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.
  - APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
- HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER).
  - IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE; K2O (POTASSIUM), 200 POUNDS PER ACRE.
  - LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING), NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.
  - MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION.
  - WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

B. MULCHING

1. MULCH MATERIALS (IN ORDER OF PREFERENCE)

- A STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.
- WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBRIL PHYSICAL STATE.
  - WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY.
  - WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS.
  - WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND RETENTION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.
  - WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.
  - WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.

2. APPLICATION

- APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.
- WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.
- WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
  - WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE.
  - WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.
- ANCHORING
  - A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.
  - WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
  - SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAC II, TERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED.
  - LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

PERMANENT STABILIZATION

A. SEED MIXTURES

1. GENERAL USE

- SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
- ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN THE USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING.
- FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE RATES AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
- FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

2. TURFGRASS MIXTURES

- AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
- SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
  - KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MAINTENANCE. IRRIGATION IS REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
  - KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
  - TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. THE SLOPE LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRAGILE. CULTIVARS 95 TO 100 PERCENT CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
  - KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

- CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.
- IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES ARE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: 6B)
- TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES. LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1/2 INCHES IN DIAMETER. THE DRIVING OF STONES TO THE SURFACE IN SUCH CONDITION THAT FUTURE MOVING OF GRASSES WILL POSE NO DIFFICULTY.
- IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS, DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

1. GENERAL SPECIFICATIONS

- CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
- SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/8 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN EDGES WILL NOT BE ACCEPTABLE.
- STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO ABSORB AND RETENTION PROPERTIES AND MUST COVER AND HOLD GRASS WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
- SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
- SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

2. SOD INSTALLATION

- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
- LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER JOINTS TO PREVENT LATERAL JOINTS TO UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
- WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE.
- WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.
- MAINTENANCE
  - IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.
  - AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
  - DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OF SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

INCREMENTAL STABILIZATION

A. INCREMENTAL STABILIZATION - CUT SLOPES

- EXCAVATE AND STABILIZE CUT SLOPES IN INCREMENTS NOT TO EXCEED 15 FEET IN HEIGHT. PREPARE SEEDBED AND APPLY SEED AND MULCH ON ALL CUT SLOPES AS THE WORK PROGRESSES.
- FOR CONSTRUCTION SEQUENCE REFER TO SHEET C-330.

B. INCREMENTAL STABILIZATION - FILL SLOPES

- CONSTRUCT AND STABILIZE FILL SLOPES IN INCREMENTS NOT TO EXCEED 15 FEET IN HEIGHT. PREPARE SEEDBED AND APPLY SEED AND MULCH ON ALL SLOPES AS THE WORK PROGRESSES.
- STABILIZE SLOPES IMMEDIATELY WHEN THE VERTICAL HEIGHT OF A LIFT REACHES 15 FEET, OR WHEN THE GRADING OPERATION CEASES AS PRESCRIBED IN THE PLANS.
- AT THE END OF EACH DAY, INSTALL TEMPORARY WATER CONVEYANCE PRACTICE(S), AS NECESSARY, TO INTERCEPT SURFACE RUNOFF AND CONVEY IT DOWN THE SLOPE IN A NON-EROSIVE MANNER.
- FOR CONSTRUCTION SEQUENCE REFER TO SHEET C-330.

NOTE: ONCE EXCAVATION HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.

NOTE: ONCE THE PLACEMENT OF FILL HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.

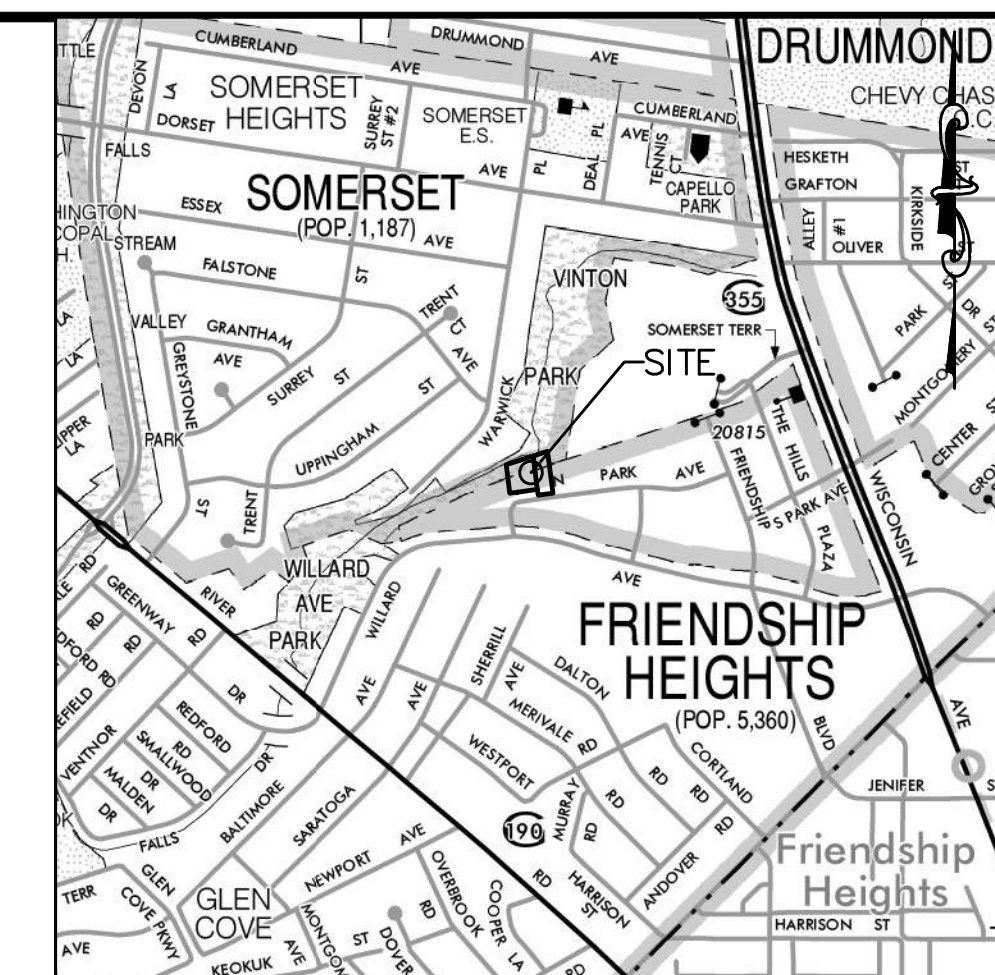
TEMPORARY SEEDING TABLE B.1

SEED MIXTURE (HARDINESS ZONE 6b ) (FROM TABLE B.1)					FERTILIZER RATE (10-10-10)	LIME RATE
NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	SEEDING DEPTHS		
BARLEY		96	3/1-5/15	1"	436 lb/ac	2 tons/ac
			8/1-10/15			
CEREAL RYE		112	3/1-5/15	1"	(10 lb/1000 sf)	(90 lb/1000 sf)
			8/1-11/15			
WHEAT		120	3/1-5/15	1"		
			8/1-10/15			
FOXTAIL MILLET		30	5/16-7/31	1/2"		

APPLIES TO EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

PERMANENT SEEDING TABLE B.3

SEED MIXTURE (HARDINESS ZONE 6b ) (FROM TABLE B.3)					FERTILIZER RATE (10-20-20)	LIME RATE
MIX NO.	SPECIES	APPLICATION RATE (lb/ac)	SEEDING DATES	N	P <sub>2</sub> O <sub>5</sub>	K <sub>2</sub> O
9	PERENNIAL RYEGRASS(95%) KENTUCKY BLUEGRASS(5%)	20	3/1-5/15 8/1-10/15	45 lb/ac	90 lb/ac	90 lb/ac
				(1.0 lb/1000 sf)	(2 lb/1000 sf)	(2 lb/1000 sf)



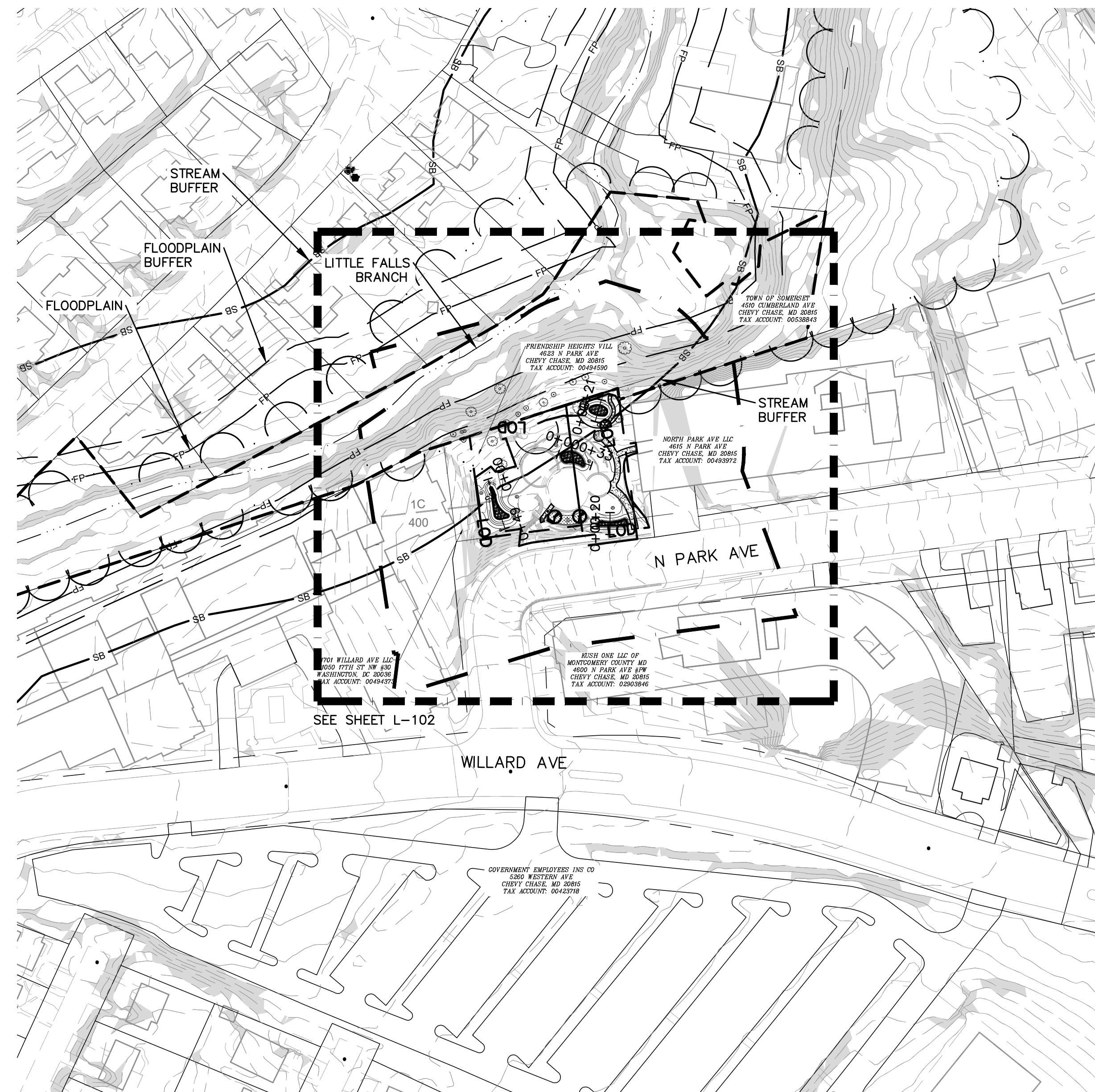
VICINITY MAP  
SCALE: 1"=1000'

**CLARK | AZAR & ASSOCIATES**  
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Germantown, MD, 20874  
T(301) 528-2010  
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A Woman Owned Small Business



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed landscape architect under the laws of the State of Maryland.

License No. 3209  
Expiration Date: 09/23/2025



FOREST CONSERVATION EXEMPTION PLAN – OVERALL PLAN  
SCALE: 1" = 80'

LEGEND	
---	ADJACENT PROPERTY LINES
---	PROPERTY LINE
---	EXISTING CONTOUR
---	EXISTING CONSERVATION EASEMENT
---	PROPOSED CONTOUR
---	SOILS BOUNDARY
---	100' STUDY AREA
---	EX. FOREST BOUNDARY
---	EX. TRIBUTARY
---	EX. FLOODPLAIN
---	EX. FLOODPLAIN BUFFER
---	EX. STREAM BUFFER
---	PROPOSED STORM WATER MANAGEMENT BASIN
---	STEEP SLOPES (25 PERCENT AND GREATER SLOPES)
---	LIMITS OF DISTURBANCE

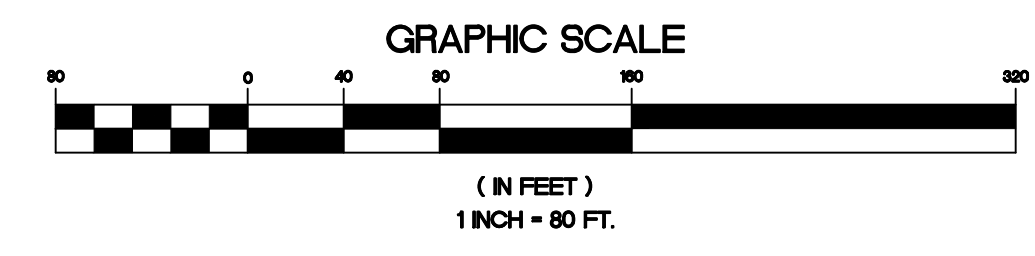
**WILLIAM TYLER PAGE PARK**  
4623 N PARK AVE  
CHEVY CHASE, MARYLAND 20815  
WSSC GRID: 207NW04 TAX MAP: HM33  
SUBDIVISION: 0025 PARCEL: N/A LOT: P1 / BLOCK: C  
LIBERY/FOLIO: L: 05629 F: 00714  
ELECTION DISTRICT: 7

NO.	DATE	DESCRIPTION

DATE: JAN 2025  
CAA PROJECT NO.: 926.001  
DRAWN BY: MS  
CHECKED BY: JA

SHEET TITLE  
**FOREST CONSERVATION EXEMPTION PLAN OVERALL PLAN**  
PLAN#: 42025224E

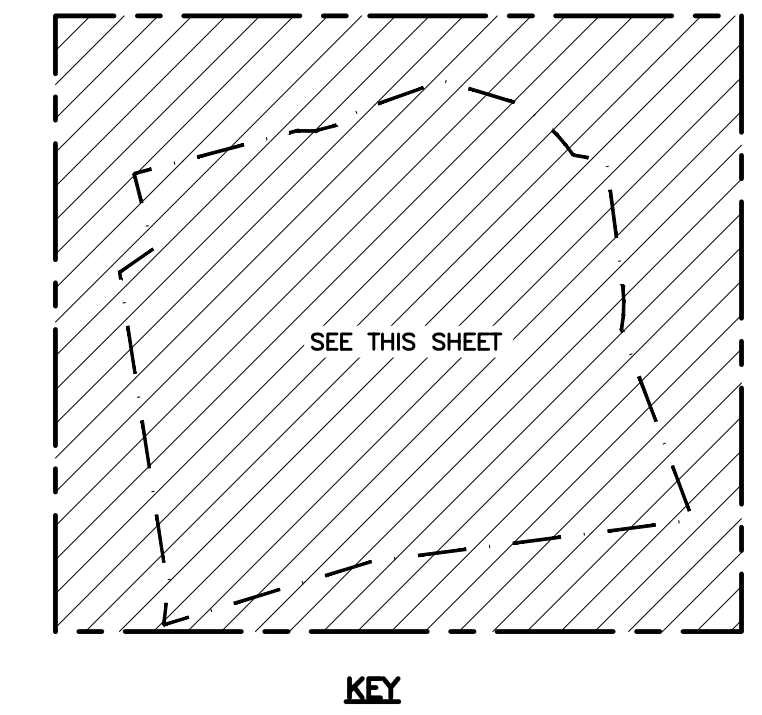
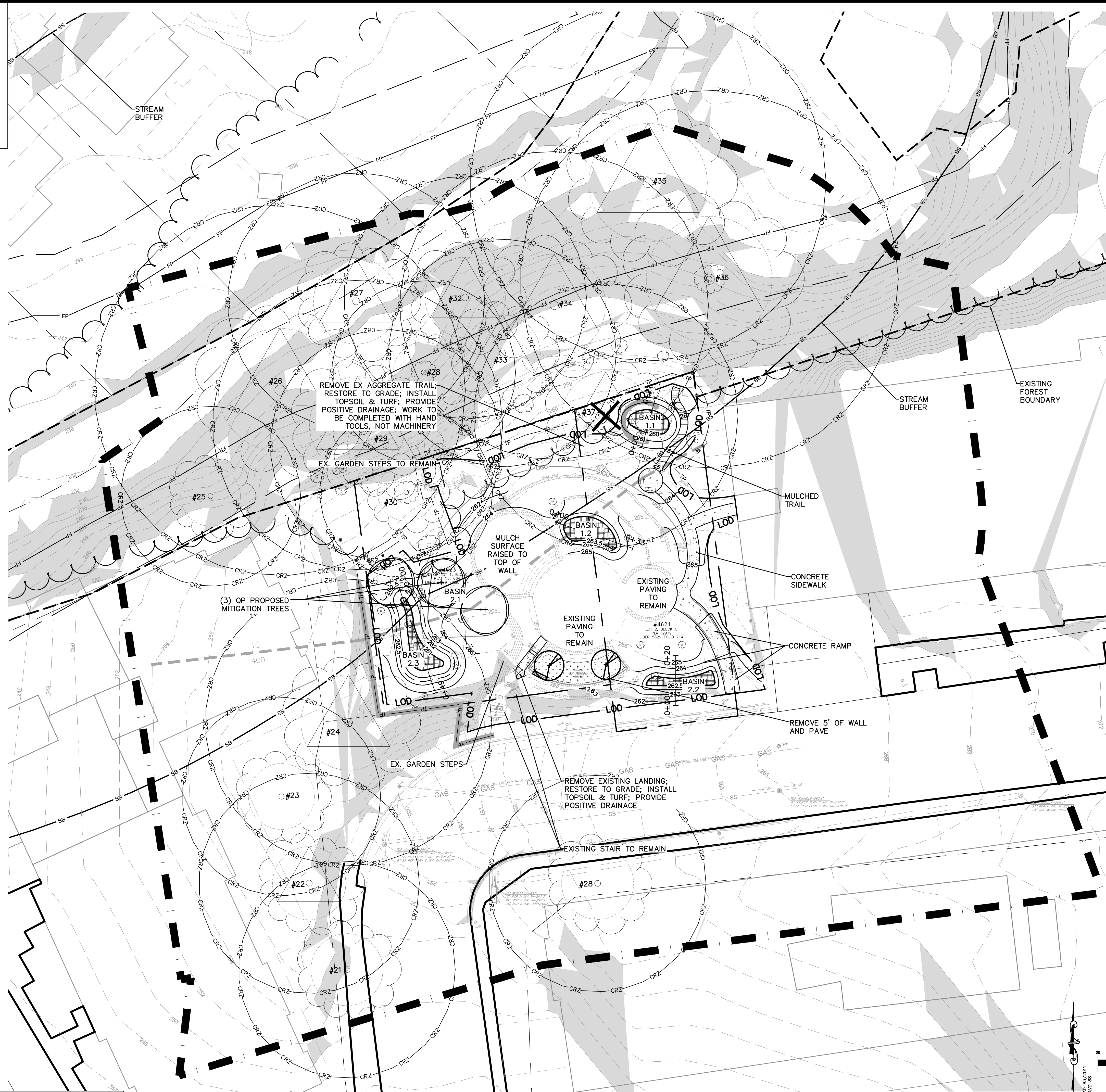
SHEET  
**L-101**



NOTE: THE AREA BEYOND THE 100-FOOT DETAILED STUDY AREA IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND HAS NOT BEEN CONFIRMED BY STAFF.

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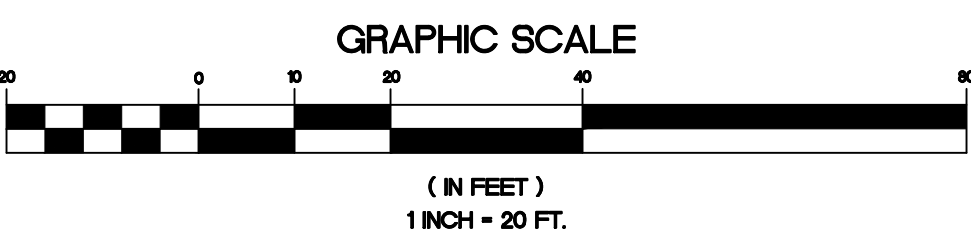
CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.



**LEGEND**

	EX. SIGNIFICANT TREE GREATER THAN OR EQUAL TO 24" DBH
	EX. SIGNIFICANT TREE GREATER THAN OR EQUAL TO 24" DBH TO BE REMOVED
	EX. SPECIMEN TREE GREATER THAN OR EQUAL TO 30" DBH
	ADJACENT PROPERTY LINES
	PROPERTY LINE
	EXISTING CONSERVATION EASEMENT
	PROPOSED LIMITS OF DISTURBANCE
	100' STUDY AREA
	SOILS BOUNDARY
	EXISTING FOREST BOUNDARY
	EXISTING TRIBUTARY
	EXISTING STREAM BUFFER
	EXISTING FLOODPLAIN
	EXISTING FLOODPLAIN BUFFER
	STEEP SLOPES (25 PERCENT AND GREATER SLOPES)
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED TREE PROTECTION FENCING
	ROOT PRUNE
	MITIGATION TREE
	PROPOSED STORM WATER MANAGEMENT BASIN

NOTE: THE AREA BEYOND THE 100-FOOT DETAILED STUDY AREA IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND HAS NOT BEEN CONFIRMED BY STAFF.



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed landscape architect under the laws of the State of Maryland.  
 License No. 32059  
 Expiration Date: 09/23/2025

**WILLIAM TYLER PAGE PARK**  
 4623 N PARK AVE  
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 LIBER/FOLIO: L: 05629 F: 00714  
 ELECTION DISTRICT: 7

NO.	DATE	DESCRIPTION

DATE:	JAN 2026
CAA PROJECT NO.:	926.001
DRAWN BY:	MS
CHECKED BY:	JA
SHEET TITLE	

**FOREST CONSERVATION EXEMPTION PLAN ENLARGEMENT**  
 PLAN#: 42025224E

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